



*City of*  
**Whittlesea**

# **ATTACHMENTS**

## **OF ORDINARY COUNCIL MEETING**

**HELD ON**

**TUESDAY 22 NOVEMBER 2016**

**AT 6:30PM**

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**City of  
Whittlesea**

**ESTABLISHED AREAS PLANNING REPORT**

## PLANNING APPLICATION NO. 712283



Subject Land



Medium Density Housing

City of  
Whittlesea

ESTABLISHED AREAS PLANNING REPORT



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# PLANNING AND ENVIRONMENT ACT CITY OF WHITTLESEA

PLANNING SCHEME  
Plan referred to in Permit to use  
and/or develop land.

Application No. 712283  
Sheet 1 of 4  
Date Permit issued 20/04/16  
Date Plan 2/10/17  
Town Planner Date

## DEVELOPMENT SUMMARY

SITE AREA: 728.24m<sup>2</sup>  
DIMENSIONS: 118.0m  
BUILDING SITE COVERAGE:  
249.24m<sup>2</sup> (34.22%) CAR PARKING: TOTAL 4  
SITE PERMEABILITY:  
132.58 m<sup>2</sup> (18.33%)

## PRIVATE OPEN SPACE

UNIT 1: 25.4 m<sup>2</sup> + FRONT YARD (156.8m<sup>2</sup>)  
UNIT 2: 25.3 m<sup>2</sup>  
UNIT 3: 25.2 m<sup>2</sup>  
UNIT 4: 25.2 m<sup>2</sup> + BACK YARD (5.3 m<sup>2</sup>)

## BUILDING AREA / UNIT:

UNIT	GROUND FLOOR	FIRST FLOOR	PORCH	TOTAL
UNIT 1:	12.41m <sup>2</sup>	3.45m <sup>2</sup>	3.45m <sup>2</sup>	19.31m <sup>2</sup>
UNIT 2:	12.27m <sup>2</sup>	3.45m <sup>2</sup>	3.45m <sup>2</sup>	19.17m <sup>2</sup>
UNIT 3:	12.27m <sup>2</sup>	3.45m <sup>2</sup>	3.45m <sup>2</sup>	19.17m <sup>2</sup>
UNIT 4:	12.27m <sup>2</sup>	3.45m <sup>2</sup>	3.45m <sup>2</sup>	19.17m <sup>2</sup>

## CONSTRUCTION:

INTERNAL WALLS:  
90mm THICK TIMBER STUD CONSTRUCTION  
EXTERNAL WALLS:  
GROUND FLOOR - 240mm THICK BRICK VENEER CONSTRUCTION  
FIRST FLOOR - 240mm THICK BRICK VENEER CONSTRUCTION  
225mm THICK HEBEL PARTY WALL

## STORMWATER

ALL STORMWATER, INCLUDING ROOF AND PAVEMENT  
STORMWATER TO BE COLLECTED VIA ON SITE SYSTEM AND  
CONNECTED TO LEGAL POINT OF DISCHARGE DETAILS TO BE  
SUBMITTED AS PART OF BUILDING PERMIT. NO STORMWATER TO  
BE DISCHARGED TO ADJACENT STREETS OR STREETS.

## LANDSCAPING

FOR DETAILS OF LANDSCAPING, REFER TO SEPARATE  
LANDSCAPE PLAN - TO BE SUBMITTED LATER

## EXTERNAL FINISHES SCHEDULE

ITEM	FINISH
ROOFING	CONCRETE ROOF TILES
GUTTERS & DOWNPIPES	COLORBOND
FASCIA	COLORBOND
WALLS	BRICKWORK
	RENDERED FINISH
	RENDERED FINISH
WINDOWS & DOORS	POWDERCOAT ALUMINIUM

HW - HABITABLE WINDOW  
H - WINDOW HEAD HEIGHT  
S - WINDOW SILL HEIGHT  
SPF - SENSE IN POINT  
CL - CLOTHES LINE  
OR - OUTSIDE GLAZING  
RW - ROOF WINDOW (OPERABLE DOUBLE GLAZED OPERABLE BLIND)

NOTE:  
ALL NEW FENCING TO BE A MINIMUM HEIGHT OF 1.8m  
ALL LEVELS TO AHD

## LEGEND

SEWER ASSET 1  
225mm Ø VC SEWER OFFSET 0.91m NORTH OF NORTH BOUNDARY  
WITH 1.50m DEPTH. CONFIRM EXACT POSITION ON SITE PRIOR TO  
CONSTRUCTION

SEWER ASSET 2  
225mm Ø VC SEWER OFFSET 0.91m NORTH OF NORTH BOUNDARY  
WITH 1.50m DEPTH. CONFIRM EXACT POSITION ON SITE PRIOR TO  
CONSTRUCTION

EXISTING WALLS TO BE DEMOLISHED AND MADE GOOD



EXISTING TREE



TREES TO BE REMOVED

## MULTI-UNIT DEVELOPMENT

84 THE BOULEVARD THOMASTOWN

TP-04 D Job No. Scale. Drawn. Date.  
1:500 OK MARKS

GROUND FLOOR PLAN & AREA ANALYSIS



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building design consultants

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Bassendean, 2075  
email: admin@ikonomidisreid.com.au

Ph: 0879 2536  
Fx: 0879 2534

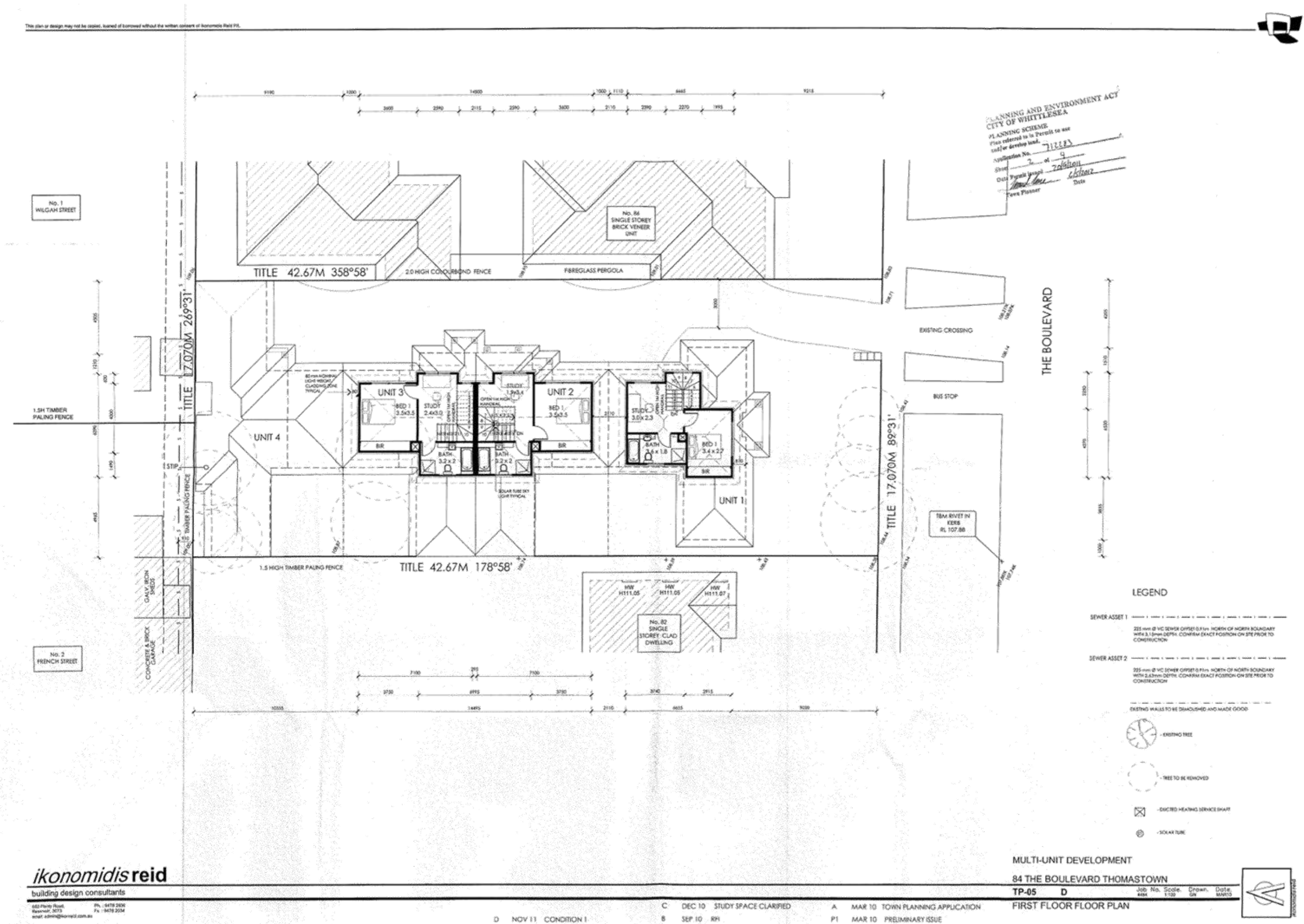
D NOV 11 CONDITION 1

C DEC 10 UNIT 4 INCREASED TO 29m<sup>2</sup>

B SEP 10 RFI

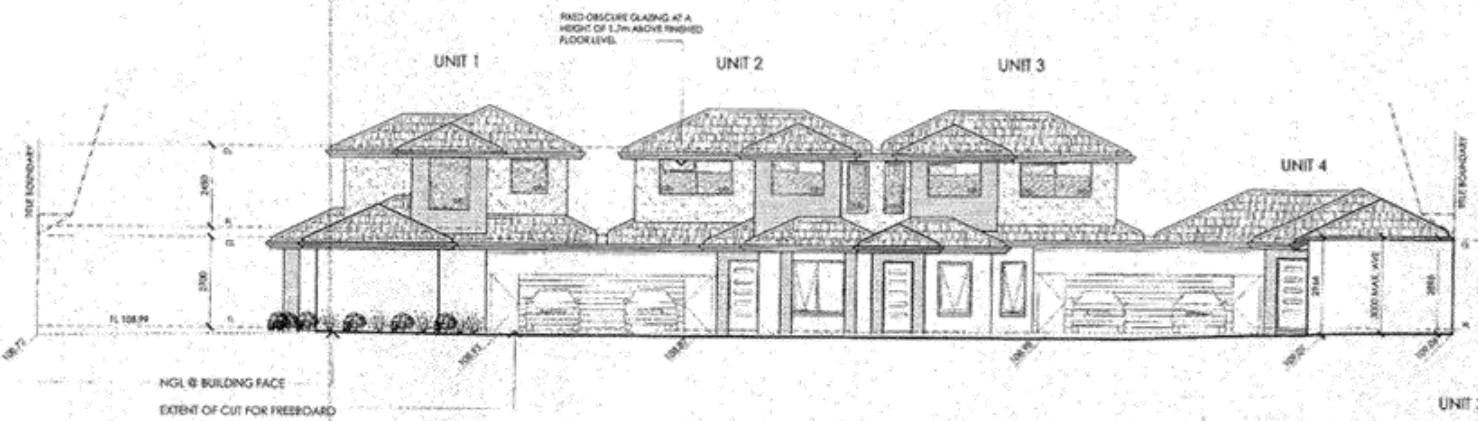
A MAR 10 TOWN PLANNING APPLICATION

P1 MAR 10 PRELIMINARY ISSUE



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PLANNING AND ENVIRONMENT  
CITY OF WILMINGTON  
PLANNING SCHEME  
Plan referred to in Form 10 was  
submitted on 10/11/15  
Application No. 712283  
Sheet 3 of 4  
Case Forwarded 20/01/16  
Town Planner Date



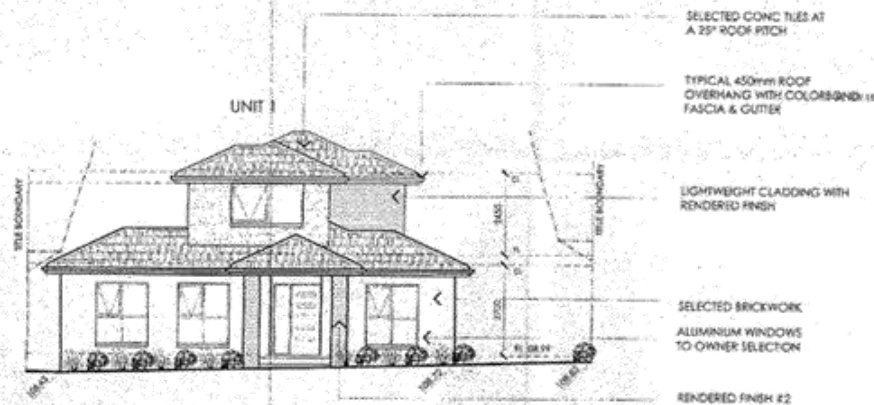
EAST ELEVATION

SCALE 1:100



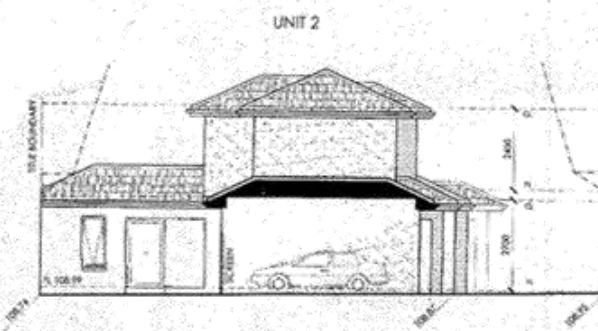
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SCALE 1:100



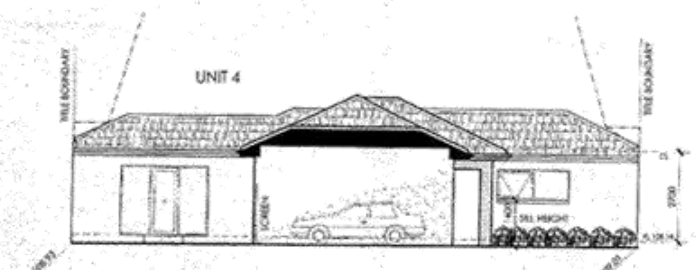
SOUTH ELEVATION

SCALE 1:100



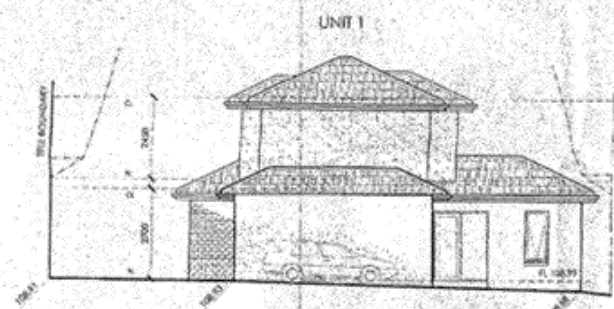
SOUTH ELEVATION

SCALE 1:100



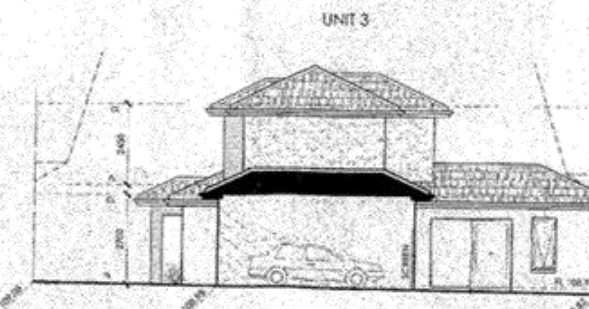
SOUTH ELEVATION

SCALE 1:100



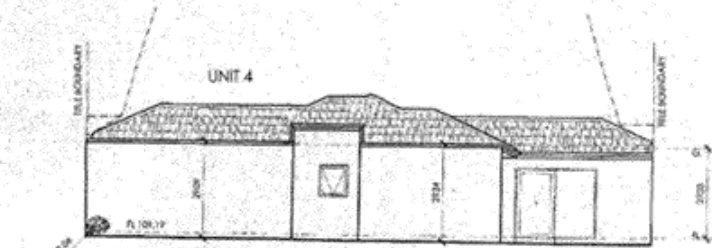
NORTH ELEVATION

SCALE 1:100



NORTH ELEVATION

SCALE 1:100



NORTH ELEVATION

SCALE 1:100

**ikonomidisreid**

building design consultants

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MULTI-UNIT DEVELOPMENT

84 THE BOULEVARD THOMASTOWN

TP-06 D  
ELEVATIONS

Job No. 4484 Scale 1:100 Drawn Date 20/01/16

D NOV 11 CONSTRUCTION

C DEC 10 UNIT 4 CHANGES

B SEP 10 RFI

A MAR 10 TOWN PLANNING APPLICATION

P1 MAR 10 PRELIMINARY ISSUE





## COLOUR SCHEME

84 The Boulevard, Thomastown

Roof tiles – 'Charcoal' or similar



Face brickwork – 'Hawthorn' or similar



Render1 – PaperBark



Render 2 – Jasper



Aluminium Windows – 'Grey' or similar



Gutters/Fascia/Downpipes – 'Loft' or similar



**PLANNING AND ENVIRONMENT ACT  
CITY OF WHITTLESEA**

**PLANNING SCHEME**

Plan referred to in Permit to use  
and/or develop land.

Application No. 712283

Sheet 4 of 4

Date Permit issued 20/6/2011

[Signature] 2/5/2012

Town Planner

Date

663 Plenty Road  
Reservoir Vic 3073  
www.ikonreid.com.au

T 03 9478 2836  
F 03 9478 2034  
E admin@ikonreid.com.au

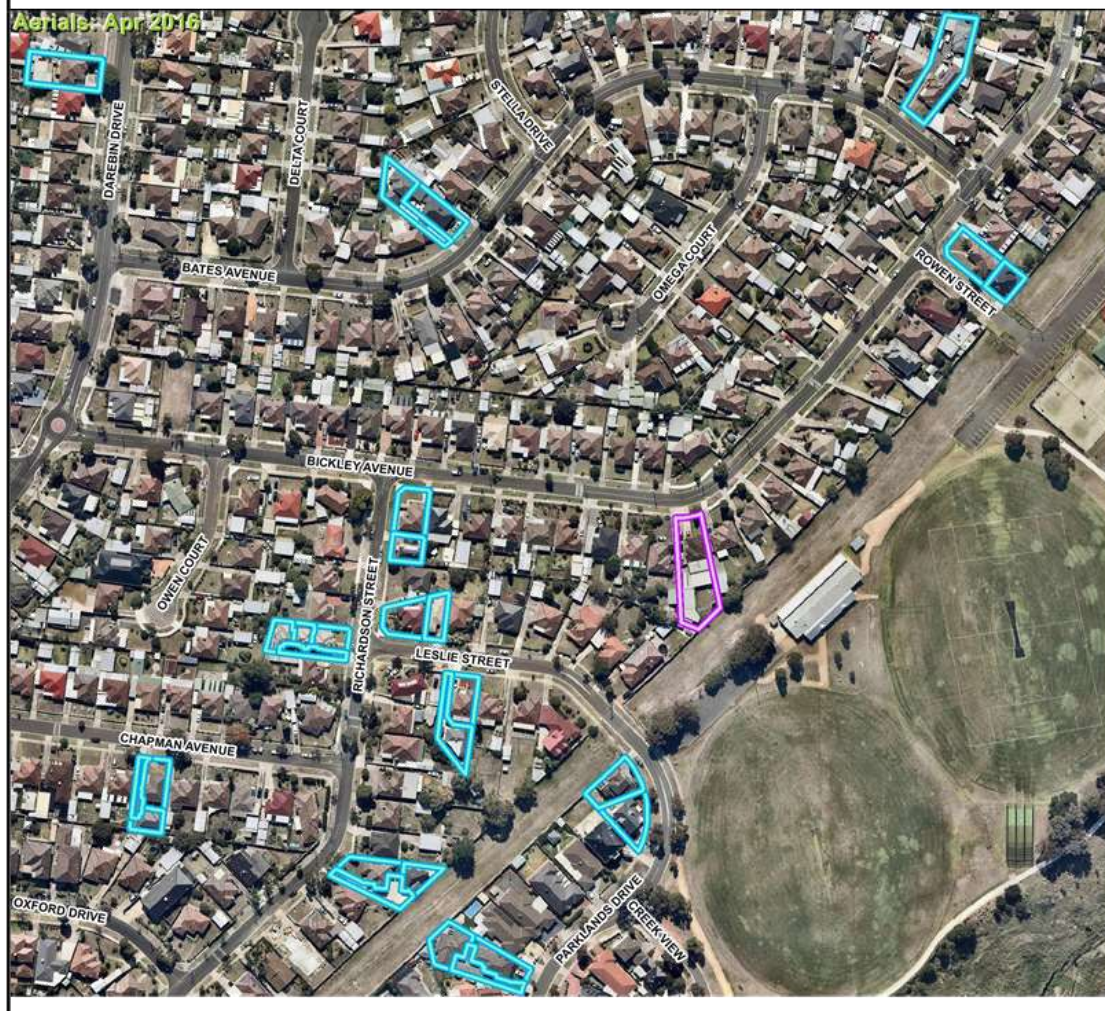




**City of  
Whittlesea**

**ESTABLISHED AREAS PLANNING REPORT**

## PLANNING APPLICATION NO. 713374



Subject Land



Medium Density Housing

City of  
Whittlesea

ESTABLISHED AREAS PLANNING REPORT





## DEVELOPMENT SUMMARY

SITE AREA: 811m<sup>2</sup>  
 DENSITY: 1:270  
 BUILDING SITE COVERAGE: 34.83 (42.51%)

CAR PARKING: TOTAL 4  
 SITE PERMEABILITY: 281.45 m<sup>2</sup> (34.72%)

## PRIVATE OPEN SPACE

UNIT 1: 25.17m<sup>2</sup> + 14.81m<sup>2</sup> = 39.98m<sup>2</sup> + 1y  
 UNIT 2: 40.03m<sup>2</sup>  
 UNIT 3: 30.69m<sup>2</sup> + 14.40m<sup>2</sup>

## BUILDING AREA / UNIT:

EXISTING UNIT 1:	100.44m <sup>2</sup>	1:55402
POORCH	4.7m <sup>2</sup>	
PROPOSED GARAGE	33.7m <sup>2</sup>	
TOTAL:	141.55m <sup>2</sup>	
UNIT 2	48.31m <sup>2</sup>	9:8862
POORCH	5.00m <sup>2</sup>	
GARAGE:	22.65m <sup>2</sup>	
TOTAL:	75.96m <sup>2</sup>	
UNIT 3 GROUND	83.14m <sup>2</sup>	11:5502
POORCH	1.74m <sup>2</sup>	
GARAGE:	22.54m <sup>2</sup>	
TOTAL:	107.42m <sup>2</sup>	

## CONSTRUCTION:

INTERNAL WALLS  
 PLASTER TRICK TACKER STUD CONSTRUCTION  
 EXTERNAL WALLS  
 GROUND FLOOR - 150mm THICK BRICK VENEER CONSTRUCTION  
 OR LIGHT WEIGHT CLADDING

## STORMWATER

ALL STORMWATER, INCLUDING ROOF AND PAVED AREAS  
 STORMWATER TO BE COLLECTED VIA ON SITE SYSTEM AND  
 CONNECTED TO LEGAL POINT OF DISCHARGE DETAILS TO BE  
 SUBMITTED AS PART OF BUILDING PERMIT. NO STORMWATER TO  
 BE DISCHARGED TO ADJACENT SITE OR STREET.  
 LEGAL POINT OF DISCHARGE: STORMWATER DISCHARGED TO  
 BE SHOWN ON SITE TO THE PREDEVELOPMENT LEVEL OF THE  
 PEAK WATER STORMWATER DISCHARGE

## LANDSCAPING

FOR DETAILS OF LANDSCAPING, REFER TO SEPARATE  
 LANDSCAPE PLAN - TO BE SUBMITTED LATER

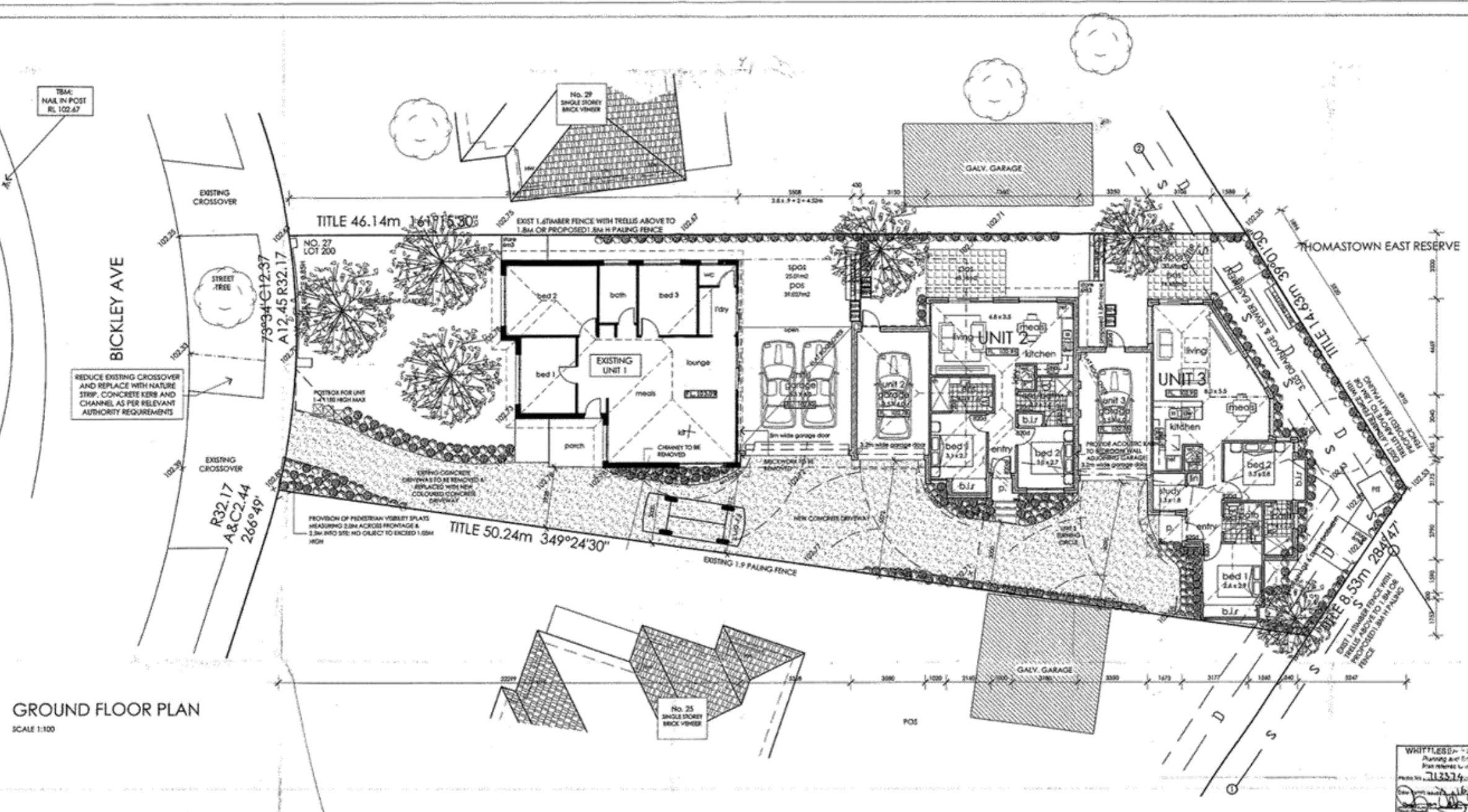
## NOTE:

ALL NEW FENCING TO BE A MINIMUM HEIGHT OF 1.8m  
 ALL LEVELS TO A.M.S.L.

## LEGEND

- ① 225 mm Ø VC SEWER, OFFSET 3.13  
 m SOUTH OF SOUTH BOUNDARY  
 WITH DEPTH OF 2.358m
- ② 150 mm Ø VC SEWER, OFFSET 1.14  
 m SOUTH OF SOUTH BOUNDARY  
 WITH DEPTH OF 1.777m
- 442 Ø & 425 Ø STORMWATER DRAIN-  
 OFFERS AND OFFSET TO BE DETERMINED  
 ON SITE
- EXISTING WALLS TO BE  
 DEMOLISHED

- EXISTING TREE
- TREE TO BE REMOVED
- SKY LIGHT TO OWNERS  
 SPEC.
- HW - HABITABLE WINDOW  
 H - WINDOW HEAD HEIGHT  
 SFP - SEWER RE-BY-POINT  
 CL - CLOSURE LINE



GROUND FLOOR PLAN  
 SCALE 1:100

PROPOSED MULTI UNIT DEVELOPMENT  
 27 BICKLEY AVE, LALOR

FLOOR PLAN

TP04 E

JOB NO. SCALE, DRAWN, DATE,  
 805733 1:100 NF SEP17

**IKONOMIDIS REID**  
 architecture + development solutions  
 713 PLENTY ROAD RESERVOIR 3073 EMAIL: ADMIN@IKONREID.COM.AU  
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E MATTE CONCORD 1 AMENDMENT  
 D MATTE CONCORD 1  
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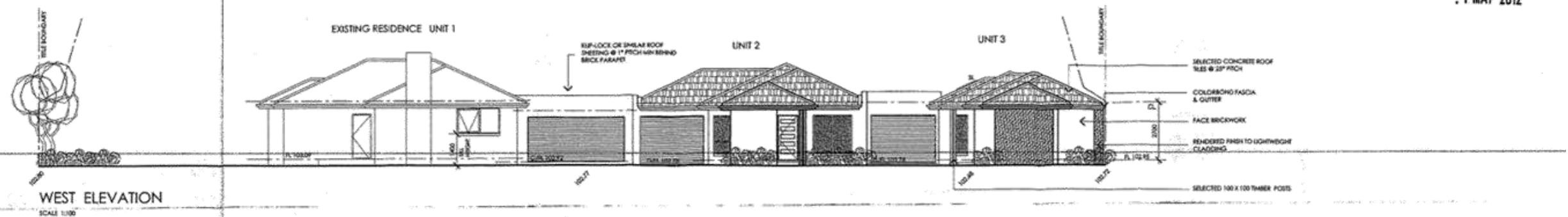
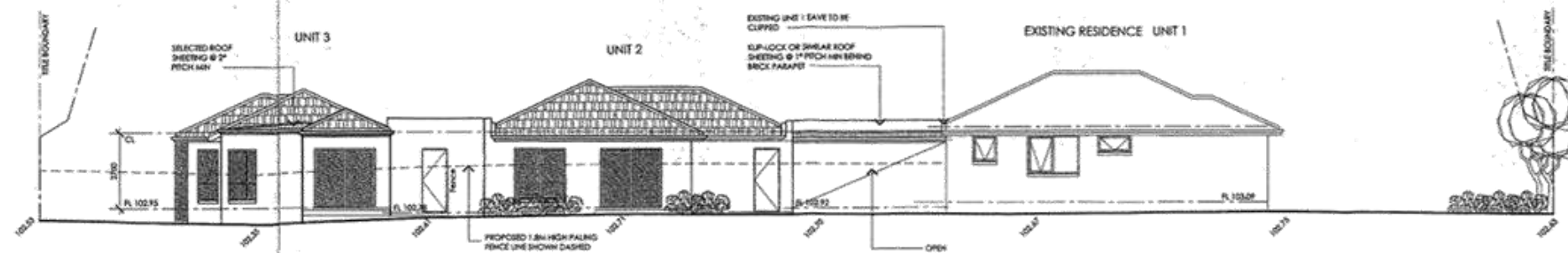
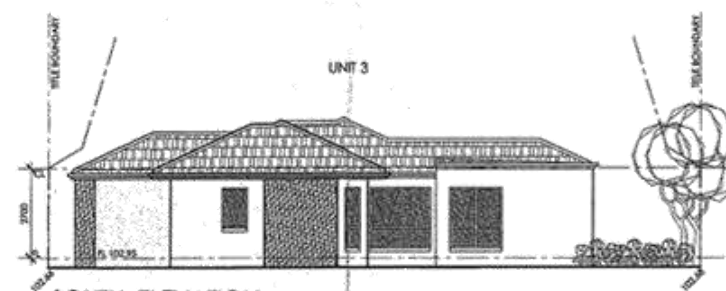
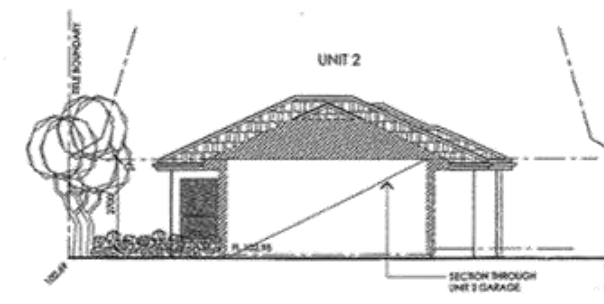
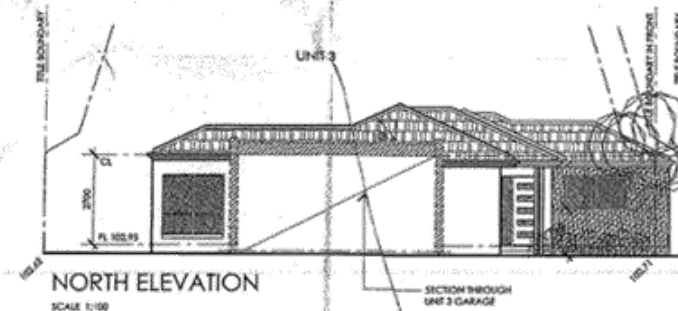
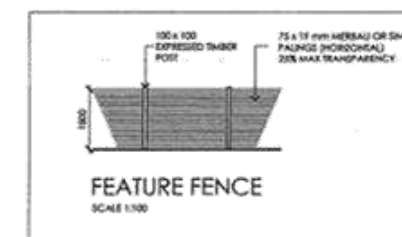
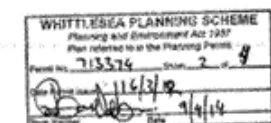
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S OCT TOWN PLANNING APP  
 REV DATE ISSUE

A OCT TOWN PLANNING APP  
 REV DATE ISSUE



. 1 MAY 2012

WEST ELEVATION  
SCALE 1:100EAST ELEVATION  
SCALE 1:100SOUTH ELEVATION  
SCALE 1:100NORTH ELEVATION  
SCALE 1:100NORTH ELEVATION  
SCALE 1:100FEATURE FENCE  
SCALE 1:100PROPOSED MULTI UNIT DEVELOPMENT  
27 BICKLEY AVE, LALOR

ELEVATIONS

TP05 D

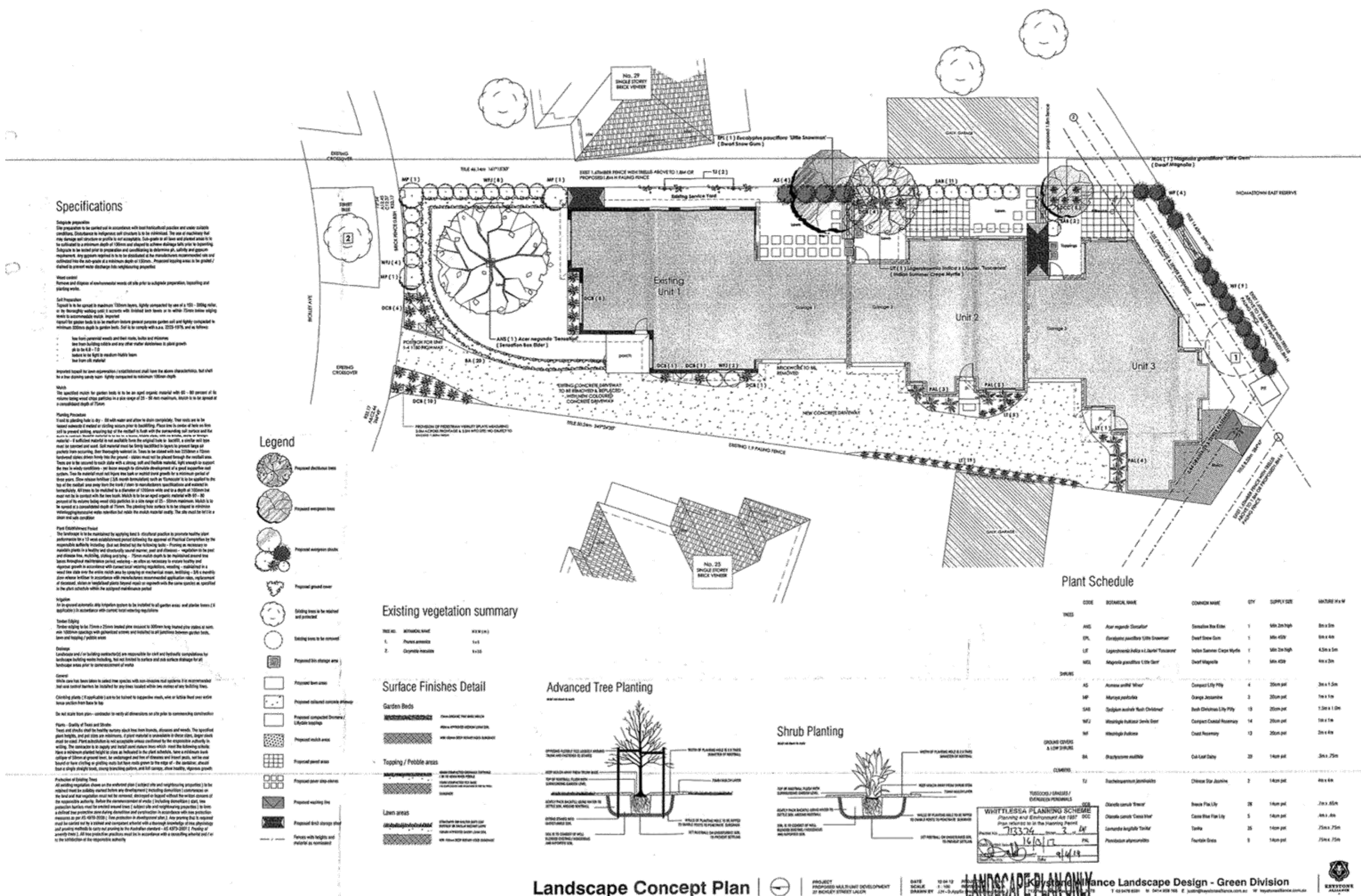
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PH. 94782036 FX. 94782034

REV DATE ISSUE

D MAR12 CONCEPT  
REV DATE ISSUEC DEC11 MR  
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REV DATE ISSUE

1 MAY 2012









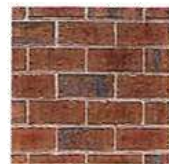
## COLOUR SCHEME

27 Bickley Avenue, Lalor. 15<sup>th</sup> May, 2012

Roof – CSR 'Tudor' – Barramundi or similar



Face brickwork – Elmhurst Reef



Render finish #1 - Bristol - Lockness or similar



Render finish #2 / coloured concrete  
– Dulux –Paper Bark or similar



Aluminium Windows – Surfmist or similar



Gutter /Downpipes/Fascia – Surfmist or similar



Driveway/access way – (darker) 'shale grey' or similar



663 Plenty Road  
Reservoir Vic 3073

T 03 9478 2836  
F 03 9478 2034



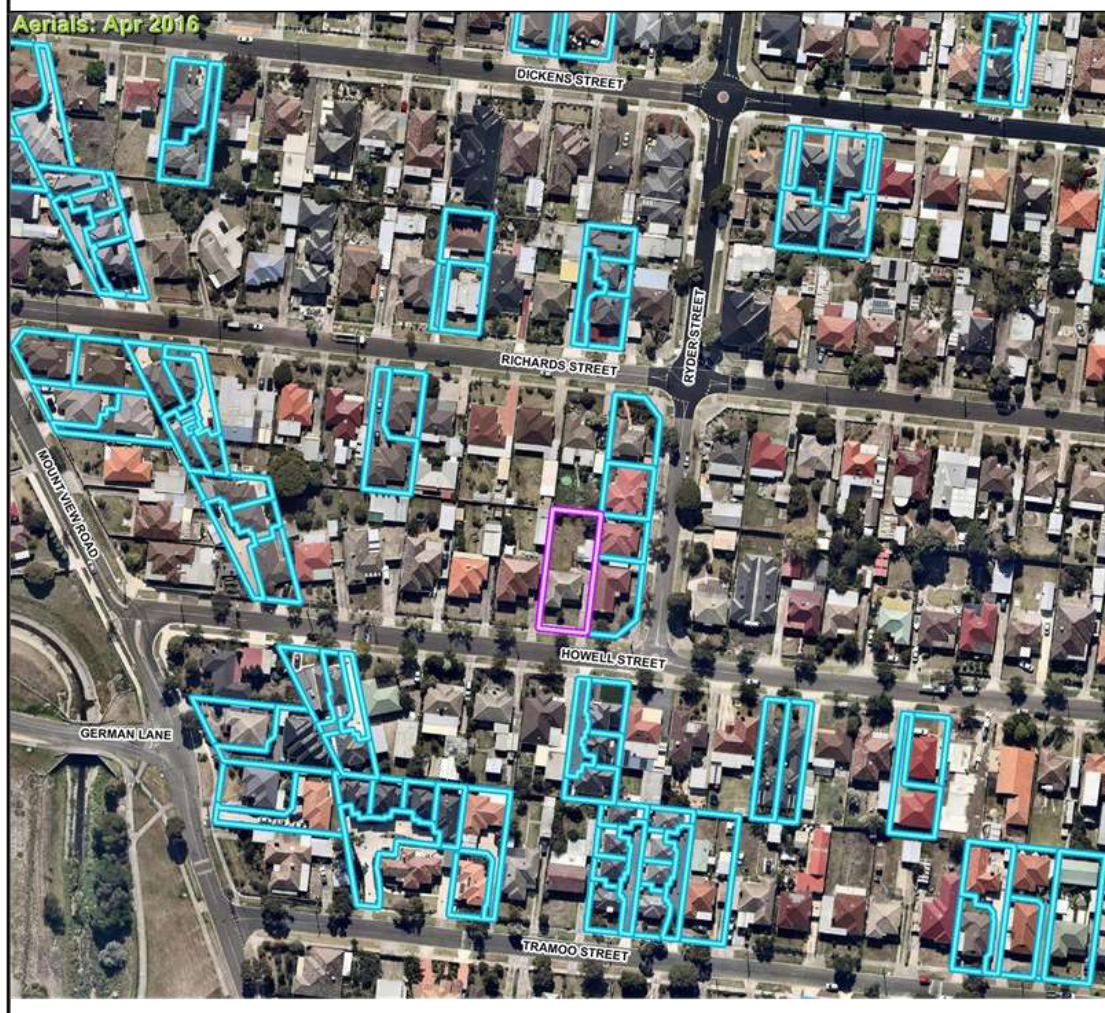


**City of  
Whittlesea**

**ESTABLISHED AREAS PLANNING REPORT**



## PLANNING APPLICATION NO. 714828

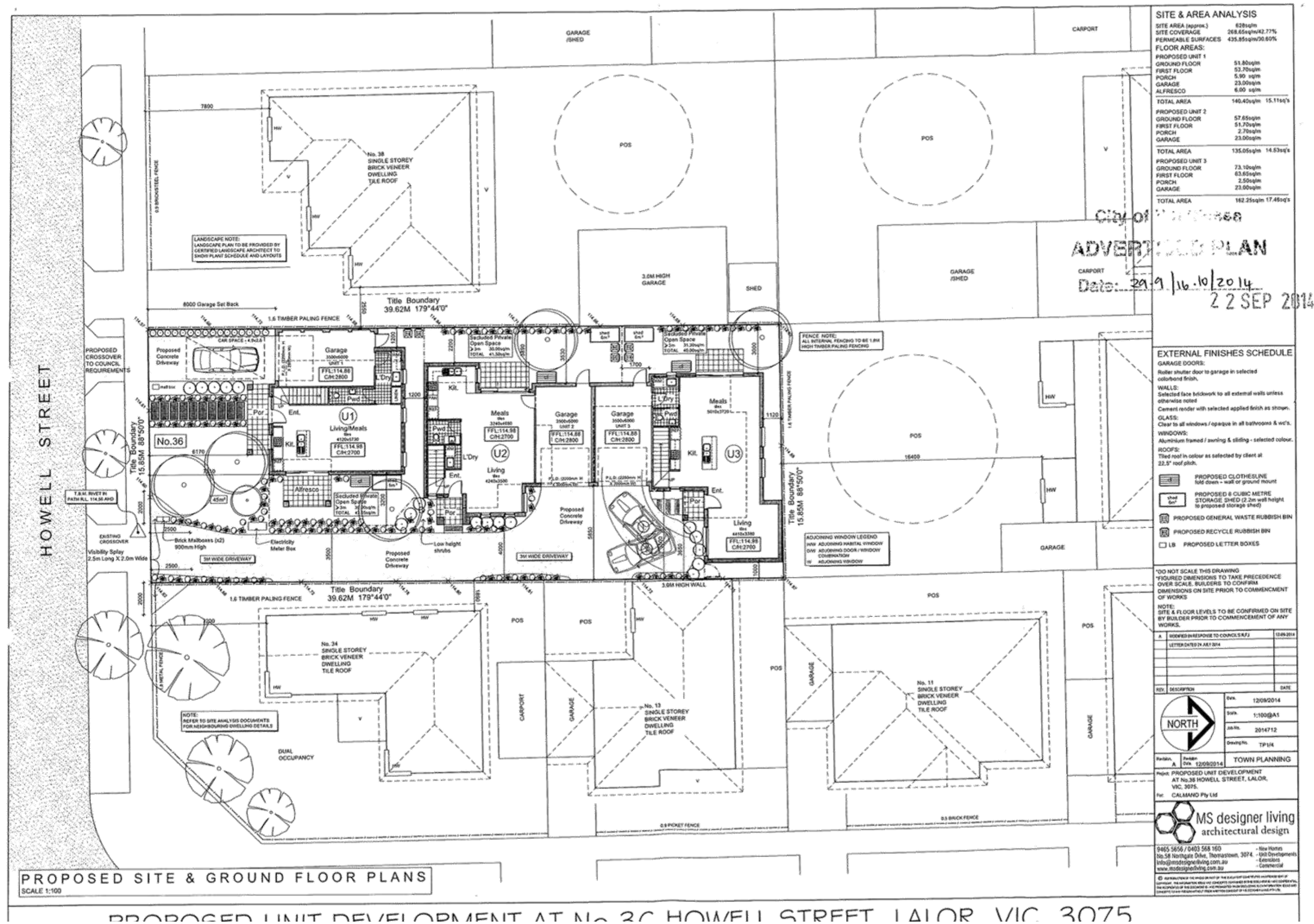


-  Subject Land
-  Medium Density Housing

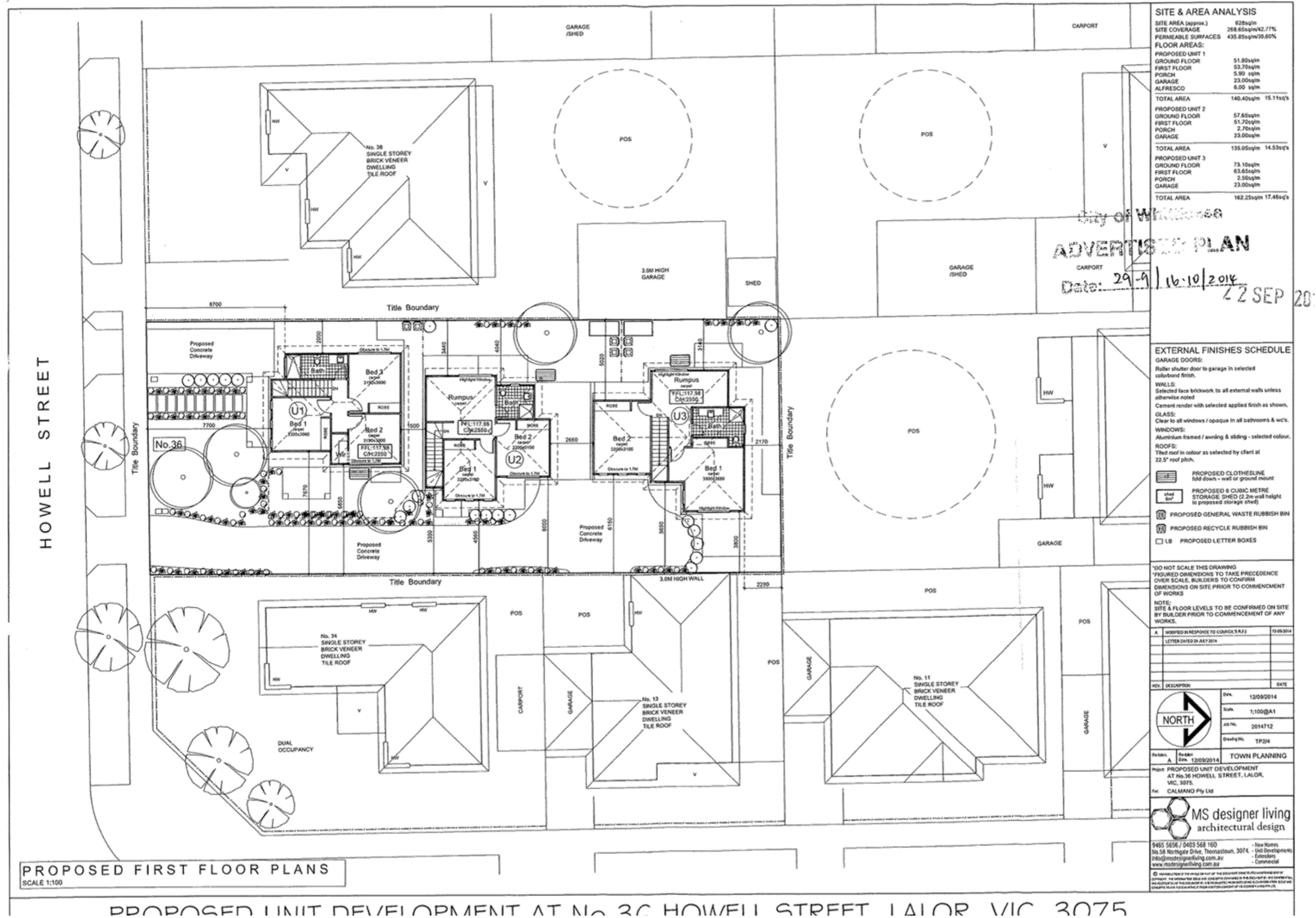


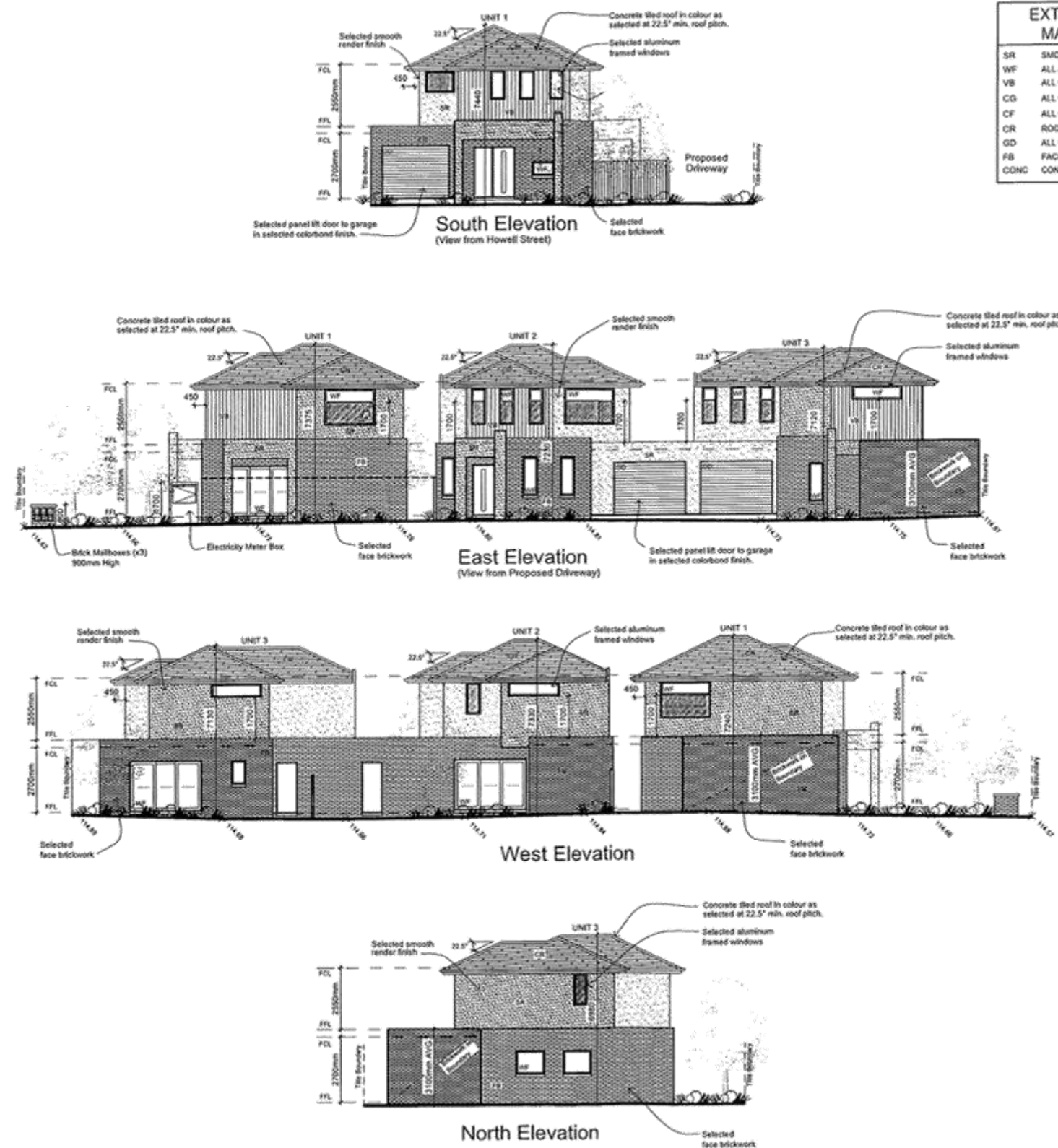
City of  
Whittlesea

## ESTABLISHED AREAS PLANNING REPORT









## EXTERNAL COLOUR AND MATERIAL SCHEDULE

SR	SMOOTH RENDER FINISH:
WF	ALL ALUMINIUM FRAMED WINDOWS:
VB	ALL COLORBOND GUTTERS:
CG	ALL COLORBOND GUTTERS:
CF	ALL COLORBOND FASCIA:
CR	ROOF TILES AT 22.5° PITCH:
GD	ALL GARAGE DOORS:
FB	FACE BRICKWORK:
CONC	CONCRETE PAVED DRIVEWAY:

## SITE &amp; AREA ANALYSIS

SITE AREA (approx.)	628sqm
SITE COVERAGE	288.65sqm/42.77%
PERMEABLE SURFACES	435.85sqm/70.60%
FLOOR AREAS:	
PROPOSED UNIT 1	
GROUND FLOOR	51.80sqm
FIRST FLOOR	53.70sqm
PORCH	5.90 sqm
GARAGE	23.00sqm
ALFRESCO	6.00 sqm
TOTAL AREA	140.40sqm 15.11sq's
PROPOSED UNIT 2	
GROUND FLOOR	57.65sqm
FIRST FLOOR	51.70sqm
PORCH	2.70sqm
GARAGE	23.00sqm
TOTAL AREA	135.05sqm 14.53sq's
PROPOSED UNIT 3	
GROUND FLOOR	73.10sqm
FIRST FLOOR	63.65sqm
PORCH	2.50sqm
GARAGE	23.00sqm
TOTAL AREA	162.25sqm 17.48sq's

City of Whittlesea

ADVERTISED PLAN

Date: 29/9/16/10/2014 22 SEP 2014

## EXTERNAL FINISHES SCHEDULE

GARAGE DOORS:	
Roller shutter door to garage in selected colorbond finish.	
WALLS:	
Selected face brickwork to all external walls unless otherwise noted.	
Cement render with selected applied finish as shown.	
GLASS:	
Clear to all windows / opaque in all bathrooms & wc's.	
WINDOWS:	
Aluminium framed / awning & sliding - selected colour.	
ROOFS:	
Tiled roof in colour as selected by client at 22.5° roof pitch.	
PROPOSED CLOTHESLINE	fold down - wall or ground mount
PROPOSED 6 CUBIC METRE STORAGE SHED	(2.2m wall height for proposed storage shed)
PROPOSED GENERAL WASTE RUBBISH BIN	
PROPOSED RECYCLE RUBBISH BIN	
PROPOSED LETTER BOXES	

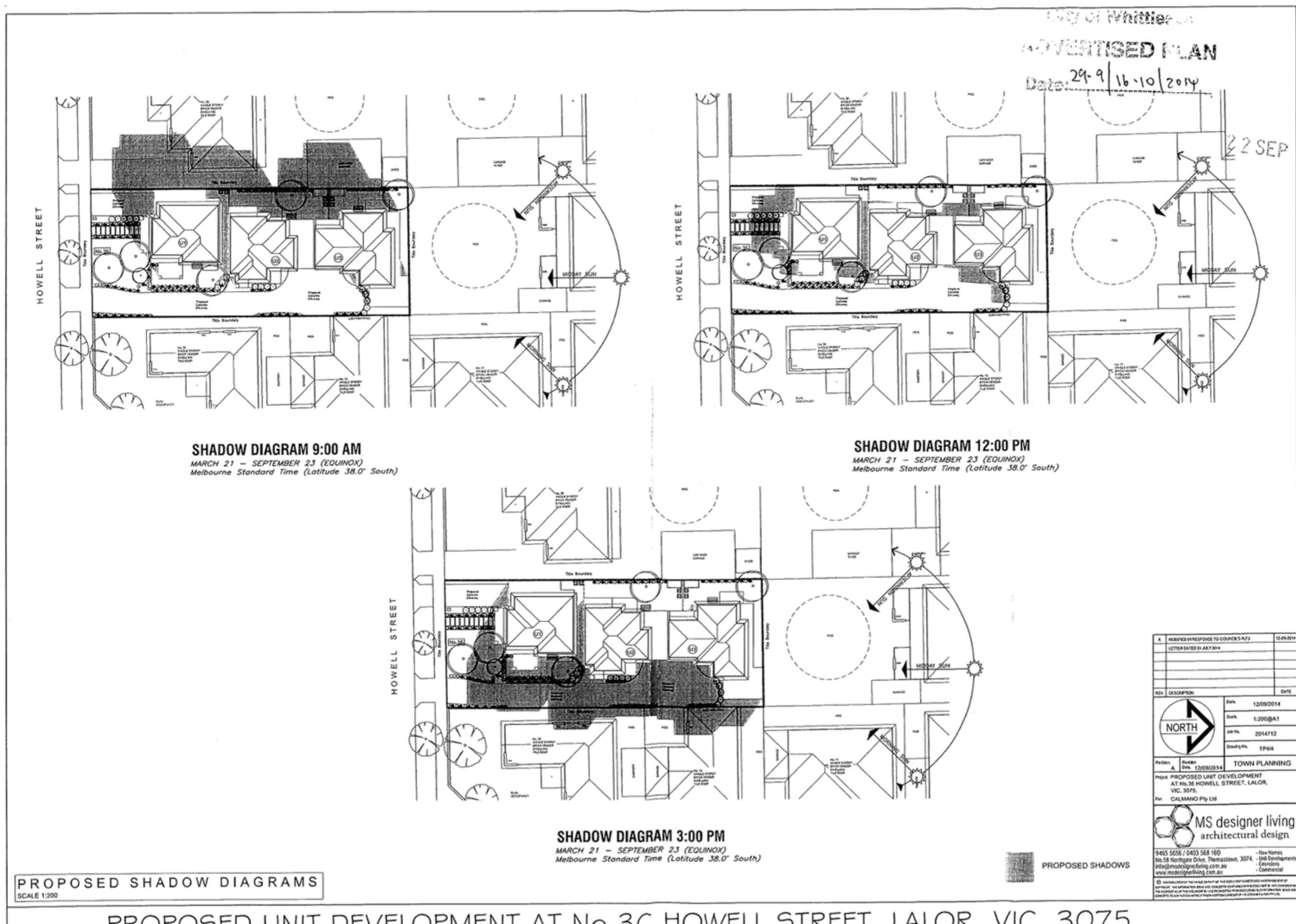
\*DO NOT SCALE THIS DRAWING  
 \*FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS TO CONFIRM DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS  
 NOTE:  
 SITE & FLOOR LEVELS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF ANY WORKS.

A MODIFIED IN RESPONSE TO COUNCIL'S RJ3 12-09-2014

LETTER DATED 24 AUG 2014

PROPOSED ELEVATIONS  
SCALE 1:100

PROPOSED UNIT DEVELOPMENT AT NO 36 HOWELL STREET LALOR VIC 3075





## PLANNING APPLICATION NO. 714201



**Subject Land**



**Medium Density Housing**



**City of  
Whittlesea**

**ESTABLISHED AREAS PLANNING REPORT**

## PLANNING APPLICATION NO. 714201



Subject Land



Medium Density Housing

City of  
Whittlesea

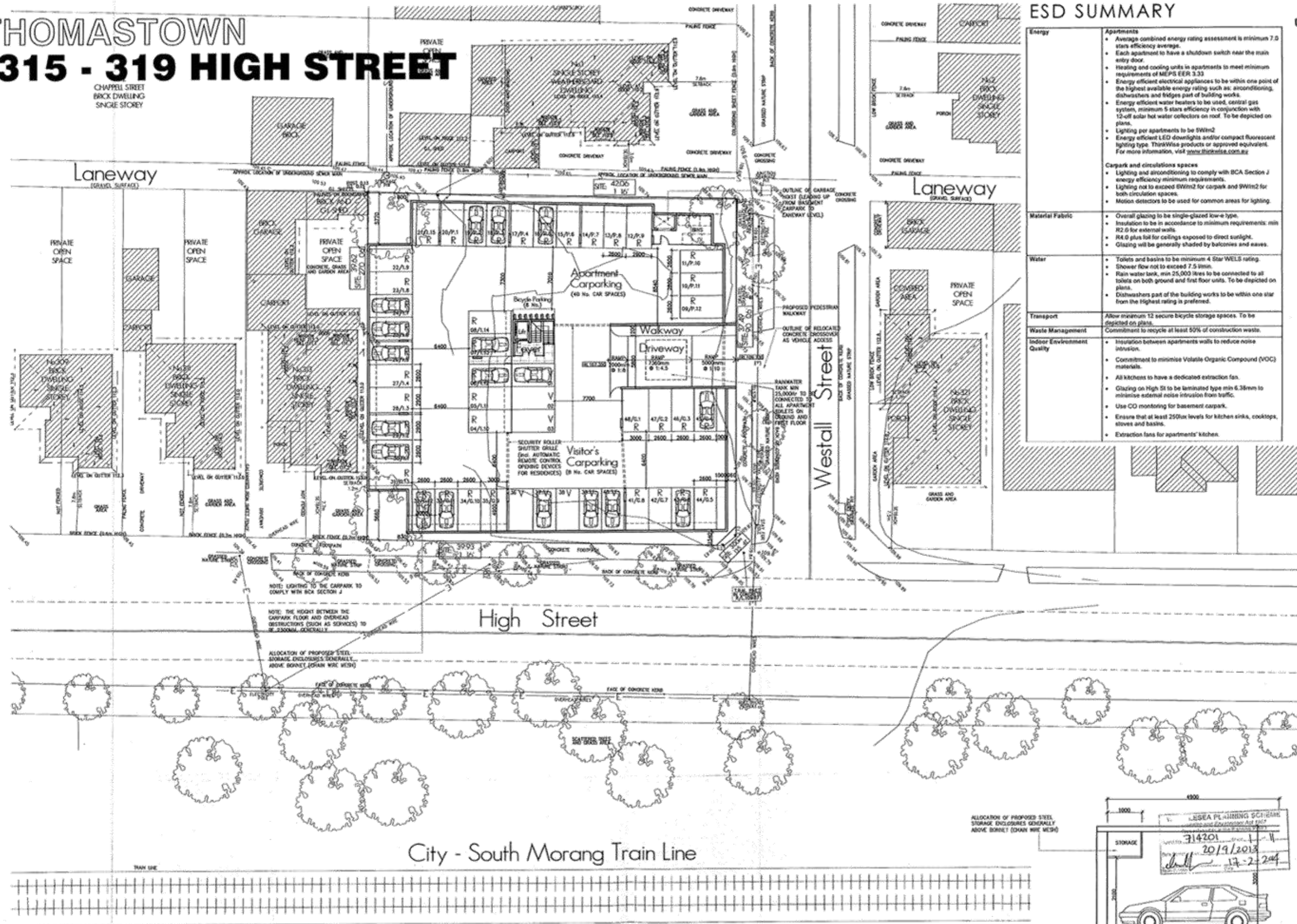
ESTABLISHED AREAS PLANNING REPORT



THE ORCHID Apartments

THOMASTOWN

315 - 319 HIGH STREET

CHAPPEL STREET  
BACK DWELLING  
SINGLE STOREY

07 NOV 2013

PETRIDIS, ARCHITECTS, LEVEL W/3 UPPER HEIDELBERG ROAD, IVANHOE, PH 9 499 8826 FAX 9 499 8823



## BASEMENT FLOOR PLAN

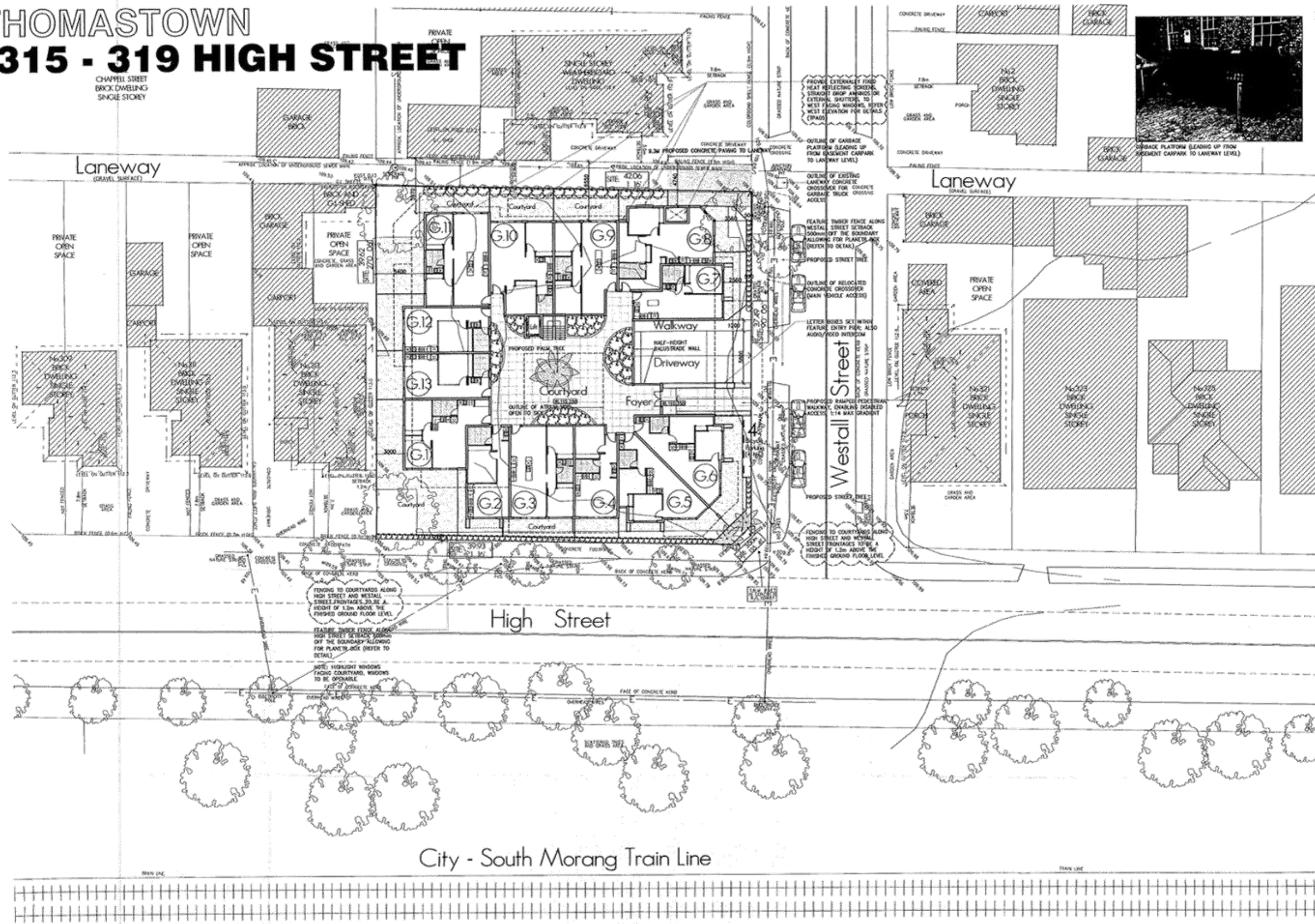
TPA 02- 2 OF 14 DATE: 8th OCTOBER 2013  
 JOB NO. 12- 65 SCALE: 1:200  
 ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM

DRAWN BY: AKW  
 COUNCIL SUBMISSION - 2ND GRD  
 TOWNPLANNING PERMIT ENDORSEMENT

# THE ORCHID Apartments

THOMASTOWN  
315 - 319 HIGH STREET

CHAPPELL STREET  
BRICK DWELLING  
SINGLE STOREY



07 NOV 2015

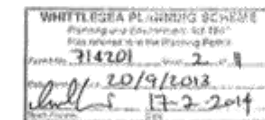
PETRIDIS, ARCHITECTS . LEVEL 1173 UPPER HEIDELBERG ROAD, IVANHOE . PH: 9 499 8826 FAX: 9 499 8823



## GROUND FLOOR PLAN

IPA 03- 3 OF 14    DATE: 8th OCTOBER 2013  
JOB NO. 12- 65    SCALE 1: 200  
ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM

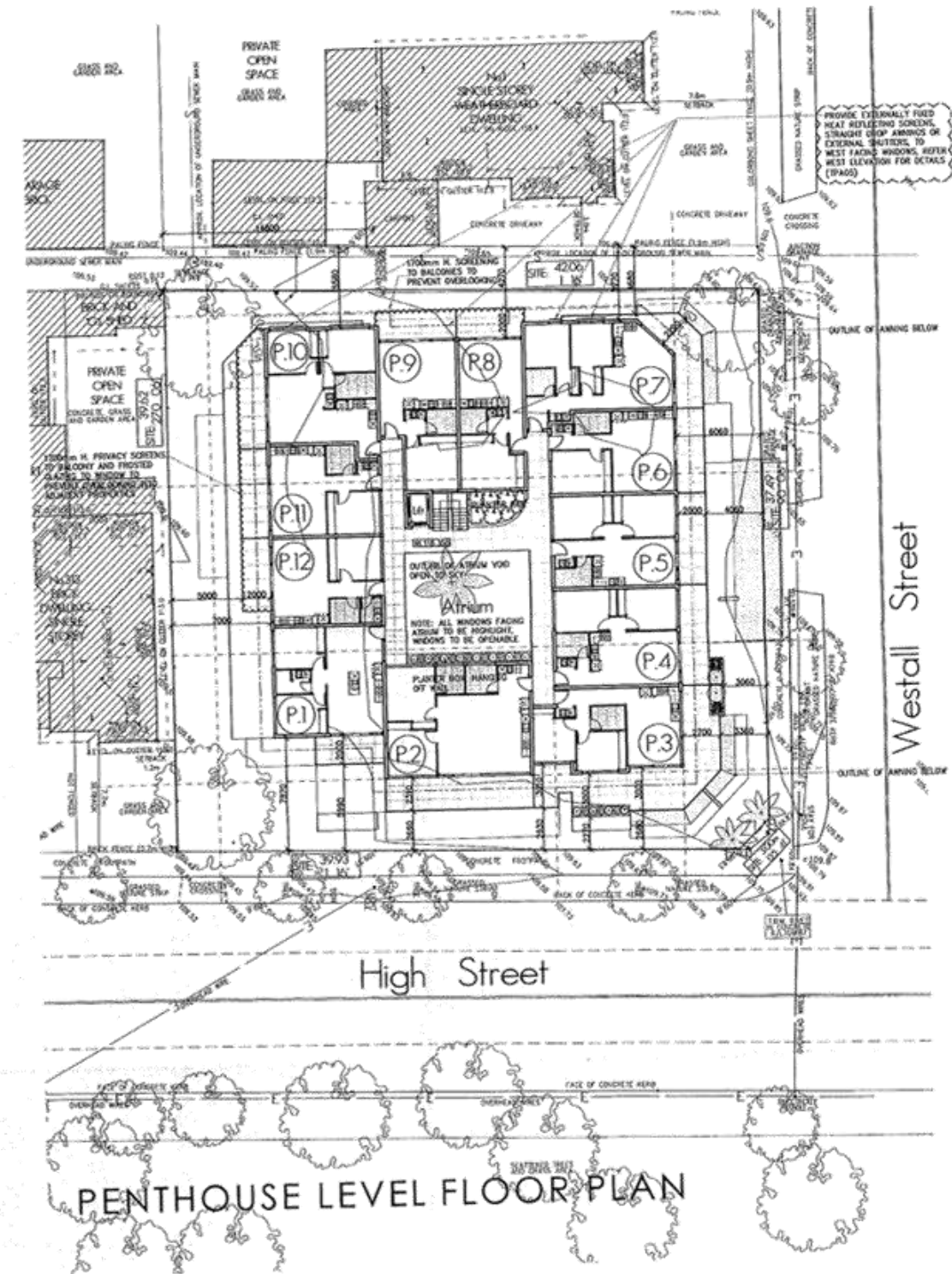
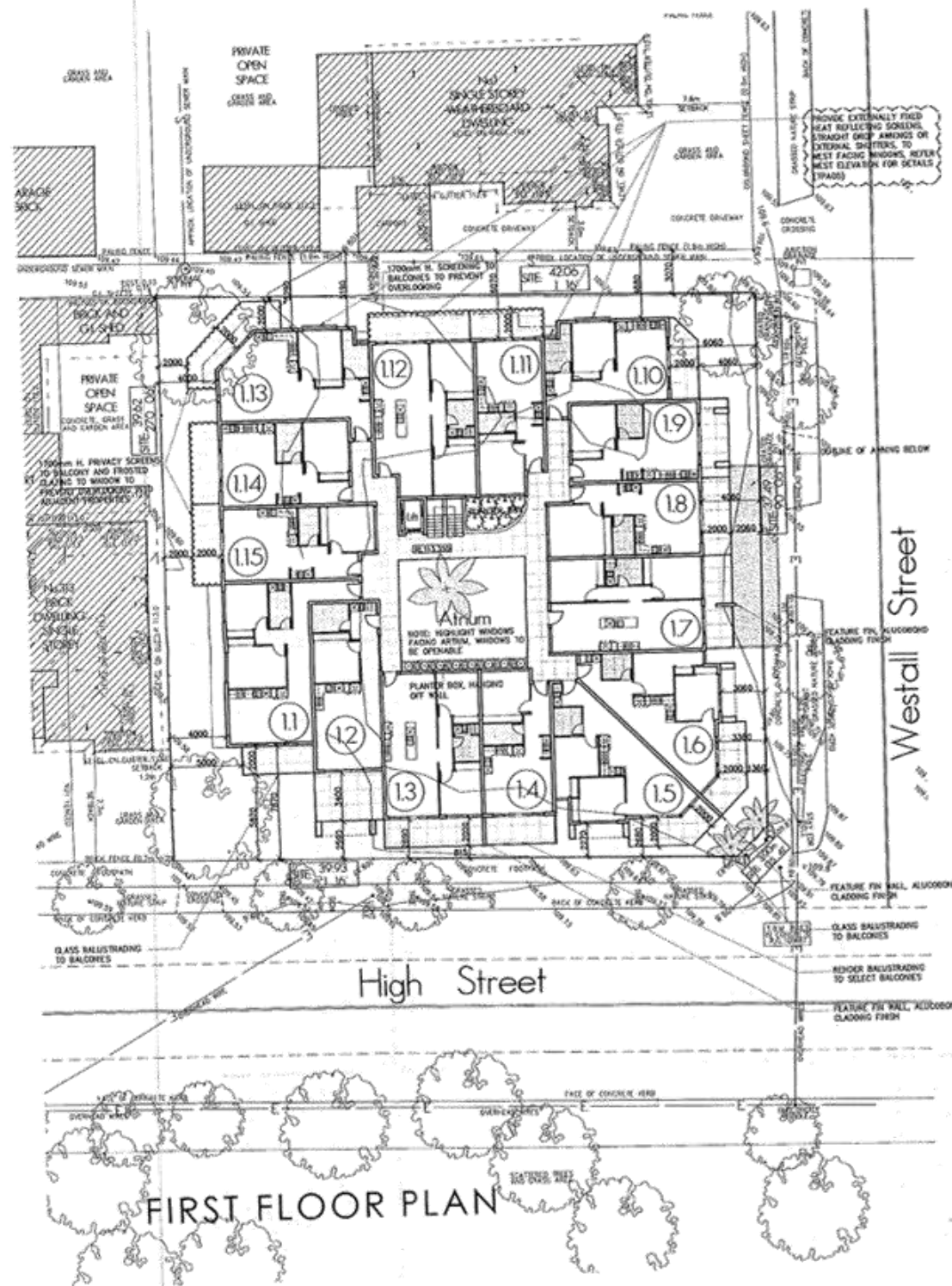
DRAWN BY: A.K.W  
COUNCIL SUBMISSION - 2ND GO  
TOWNPLANNING PERMIT ENDORSEMENT





07 NOV 2013

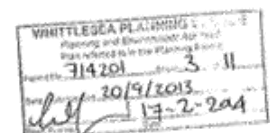
# THE ORCHID Apartments THOMASTOWN 315 - 319 HIGH STREET



## FIRST FLOOR PLAN / PENTHOUSE LEVEL FLOOR PLAN

TPA04- 4 OF 14 DATE: 08 OCTOBER 2013  
 JOB NO. 12-65 SCALE 1:200  
 ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM

DRAWN BY: AKW  
 COUNCIL SUBMISSION - 2ND GO  
 TOWNPLANNING PERMIT ENDORSEMENT

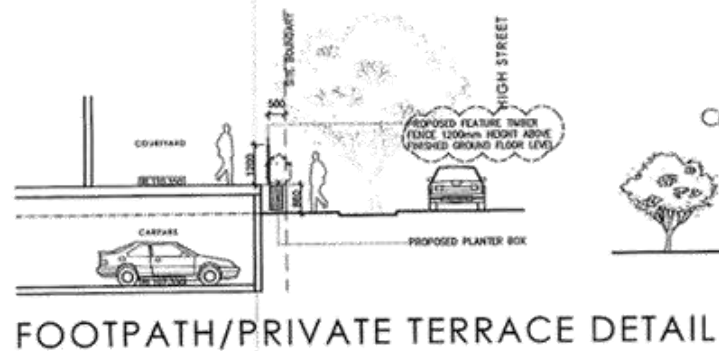


PETRIDIS, ARCHITECTS, LEVEL 1/73 UPPER HEIDELBERG ROAD, IVANHOE, PH 9 499 8826 FAX 9 499 8823

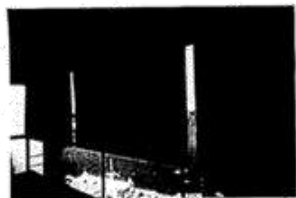
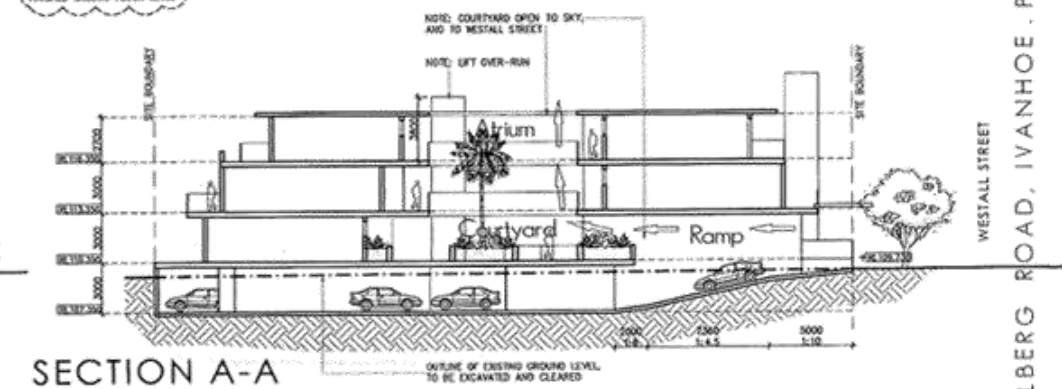
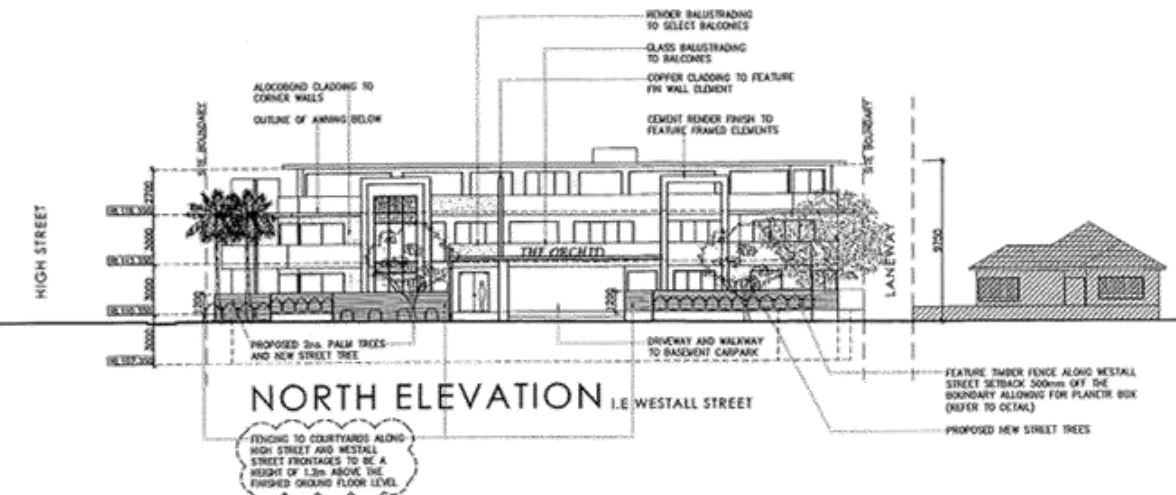
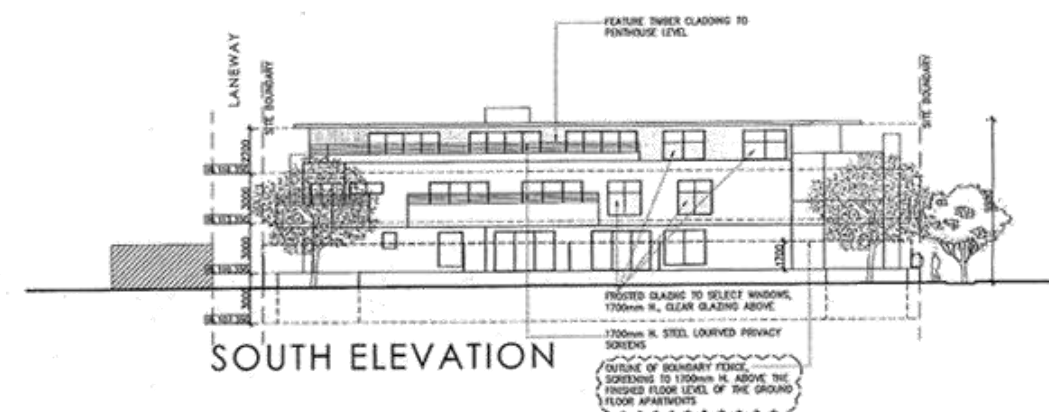
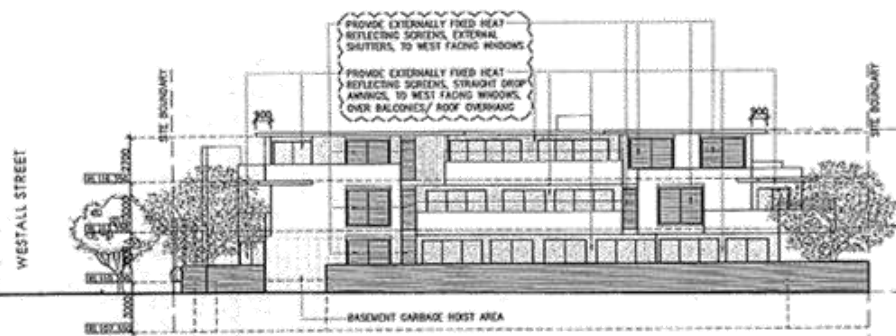
THE ORCHID Apartments

THOMASTOWN  
315 - 319 HIGH STREET

07 NOV 2013



City - South Morang Train Line

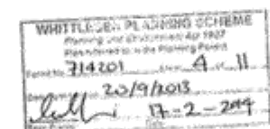
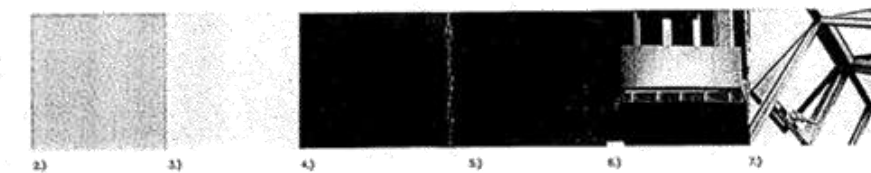
SUNSCREEN: STRAIGHT  
DROP AWNINGSSUNSCREEN: EXTERNAL  
SHUTTERS

## MATERIALS AND FINISHES SCHEDULE

- ROOF:  
1) FLAT ROOF, STEEL SHEET, ZINCALUME FINISH
- WALLS:  
2) ALUCORRUG CLADDING, "BUDGE"  
3) CEMENT RENDER, SELECT INTEGRAL COLOUR "NATURAL WHITE"  
4) PENTHOUSE LEVEL: TIMBER CLADDING, "SPOTTED OAK"
- FEATURE FRAMED TOWERS:  
5) CEMENT RENDER, SELECT INTEGRAL COLOUR "NATURAL WHITE"  
6) FEATURE FIN WALL:  
7) COPPER CLADDING, "PUR-WEATHERED"
- ENTRY AWNINGS:  
8) ALUCORRUG CLADDING, "BUDGE"
- BALUSTRADING:  
9) GLASS, CONCEALED FRAMING  
10) CEMENT RENDER, SELECT INTEGRAL COLOUR "NATURAL WHITE"
- WINDOWS:  
11) ALUMINIUM, NATURAL ANODISED FINISH  
12) GLAZING:  
13) LOW-E GLASS, SELECT GREY TINT

- FASCIA and GUTTERS:  
14) FLAT SHEET METAL, SELECT COLORBOND COLOUR, "SHALE GREY"
- FEATURE ENTRY POSTS:  
15) STEEL POSTS, NATURAL ANODISED FINISH
- ROLLER DOOR:  
16) ROLLER DOOR, STEEL FINISH STEEL
- FRONT FENCE:  
17) TIMBER, "SPOTTED OAK"
- WALKWAY:  
18) SANDSTONE TILES, 600 x 600
- DRIVEWAY:  
19) CONCRETE, SELECT INTEGRAL COLOUR "IMLESS GREY"

## MATERIALS AND FINISHES SAMPLES



## ELEVATIONS, MATERIALS AND FINISHES SCHEDULE

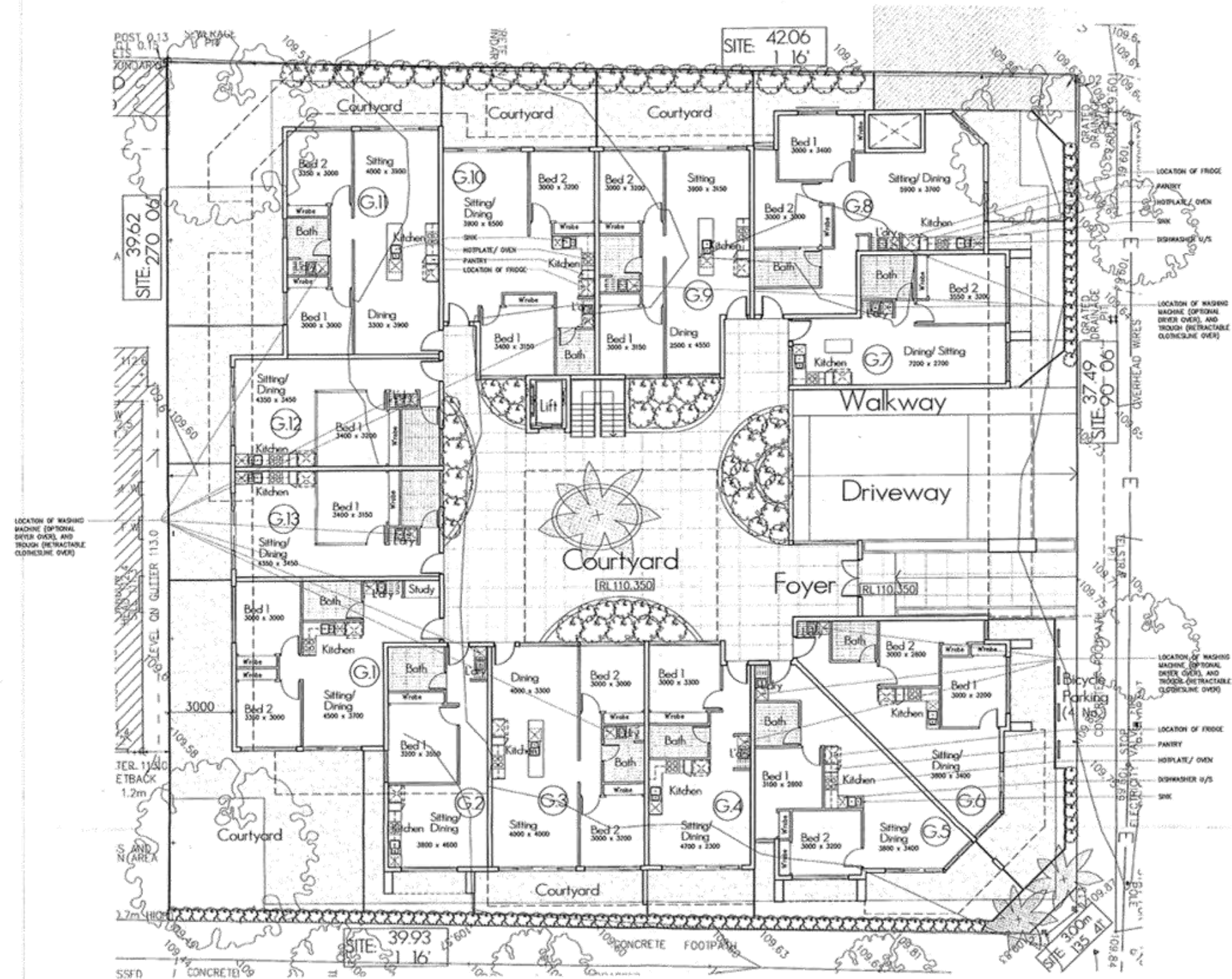
TPA 05- 5 OF 14 DATE 8th OCTOBER 2013  
JOB NO. 12-65 SCALE 1:200DRAWN BY: AKW  
COUNCIL SUBMISSION - 2ND GO  
TOWARDS ANNUAL PERMIT DETERMINATION

PETRIDIS, ARCHITECTS, LEVEL 11/13 UPPER HEIDELBERG ROAD, IVANHOE, PH: 9 499 8826 FAX: 9 499 8823

THE ORCHID Apartments

THOMASTOWN  
315 - 319 HIGH STREET

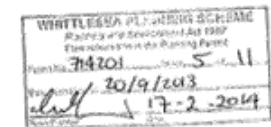
07 NOV 2013



## GROUND FLOOR PLAN

TPA12 - 12 OF 14 DATE 06 OCTOBER 2013  
 JOB NO. 12-65 SCALE 1:100  
 ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM

DRAWN BY: AKW  
 COUNCIL SUBMISSION - 2ND GO  
 TOWNPLANNING PERMIT ENDORSEMENT

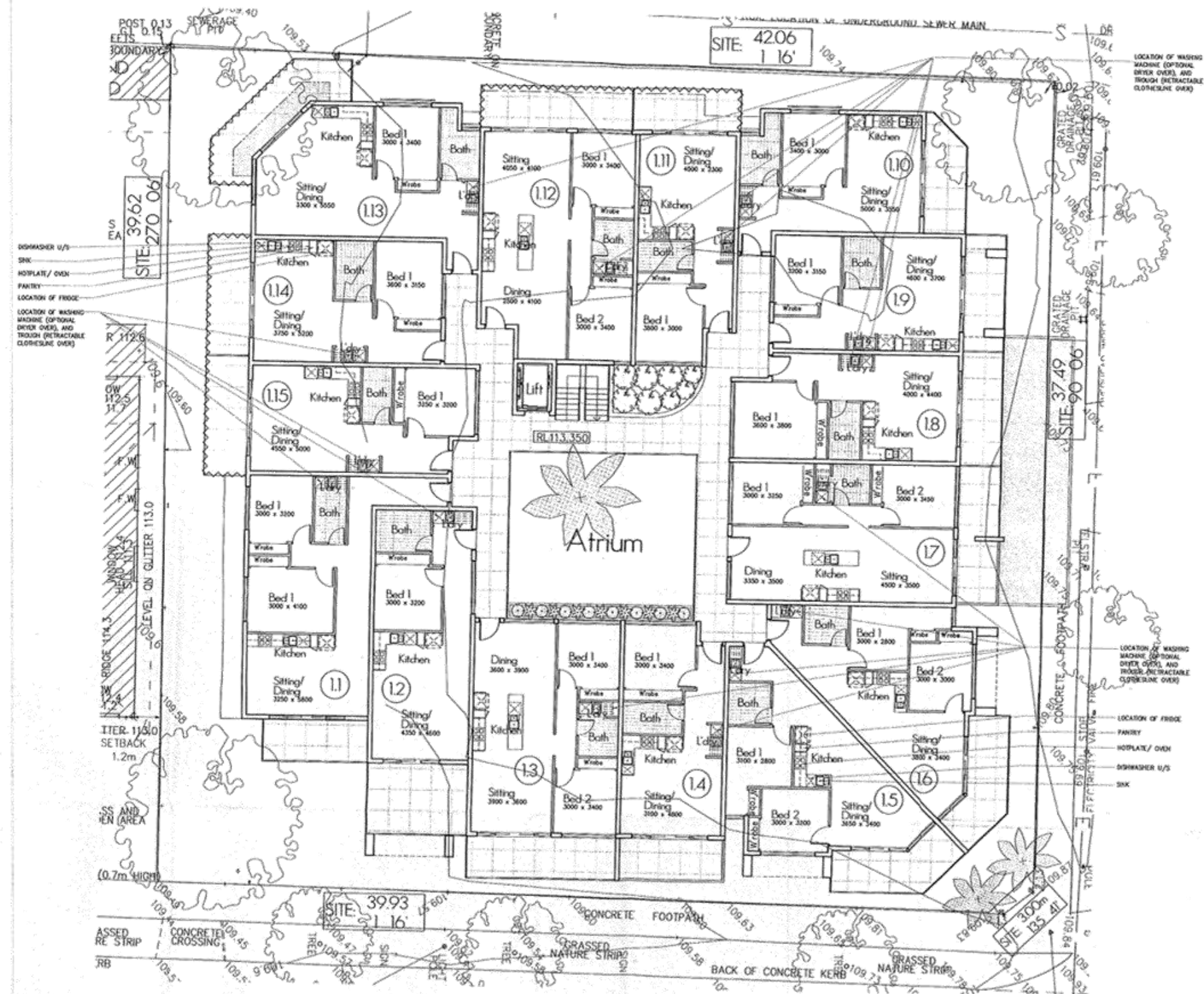


PETRIDIS, ARCHITECTS, LEVEL 10/73 UPPER HEIDELBERG ROAD, IVANHOE, PH 9 499 8826 FAX 9 499 8823



THOMASTOWN  
315 - 319 HIGH STREET

07 NOV 2013



PETRIDIS, ARCHITECTS, LEVEL 1173 UPPER HEIDELBERG ROAD, IVANHOE, PH: 9 499 8826 FAX: 9 499 8823



## FIRST FLOOR PLAN

TPA13 - 13 OF 14 DATE: 8th OCTOBER 2013  
JOB NO. 12-65 SCALE 1:100  
ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM

DRAWN BY: AKW  
COUNCIL SUBMISSION - 2ND GO  
TOWNPLANNING PERMIT ENDORSEMENT

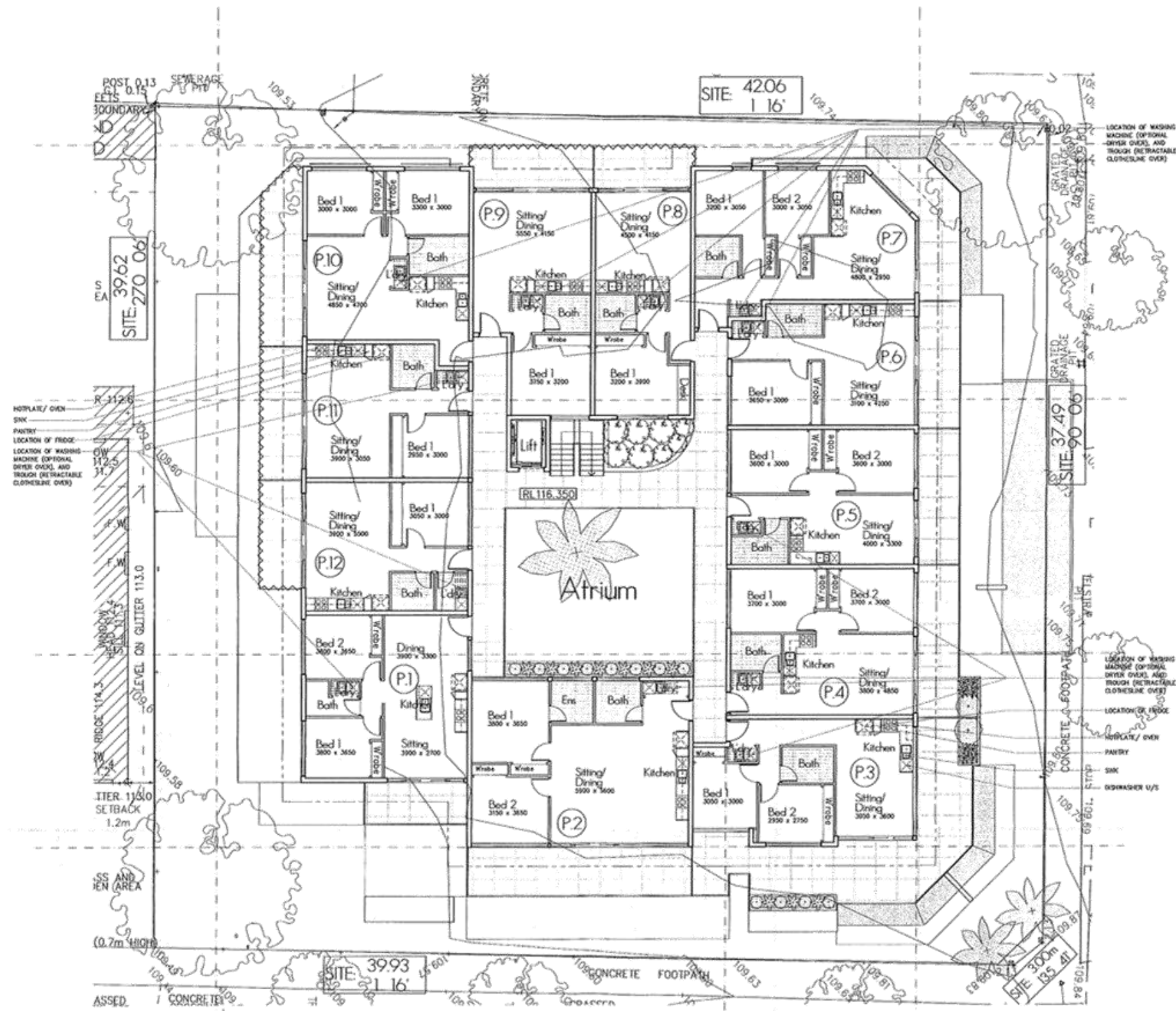




THE ORCHID Apartments

THOMASTOWN  
315 - 319 HIGH STREET

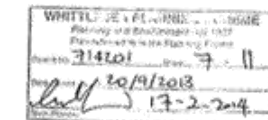
07 NOV 2013



## PENTHOUSE LEVEL FLOOR PLAN

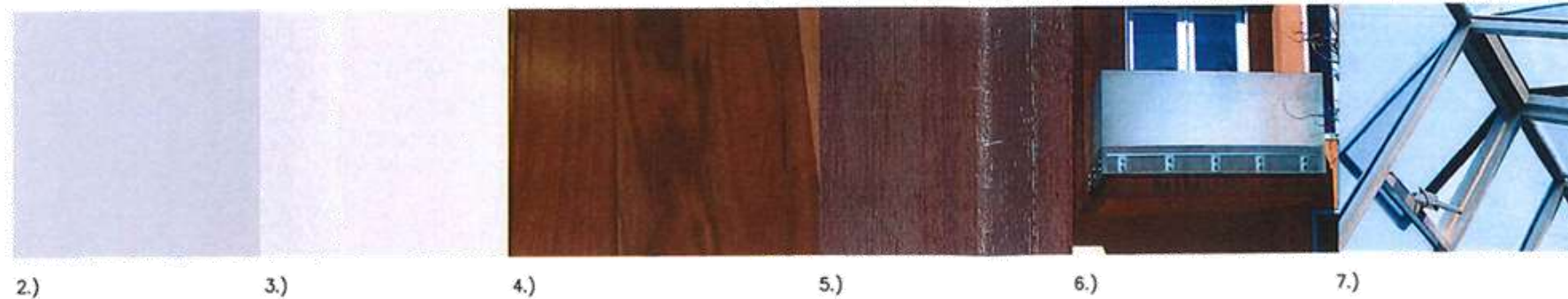
TPA14 - 14 OF 14 DATE: 08 OCTOBER 2013  
 JOB NO. 12-65 SCALE 1:100  
 ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM

DRAWN BY: AKW  
 COUNCIL SUBMISSION - 2ND GO  
 TOWNPLANNING PERMIT ENDORSEMENT



PETRIDIS, ARCHITECTS, LEVEL 11/73 UPPER HEIDELBERG ROAD, IVANHOE, PH 9 499 8826 FAX 9 499 8823

# THOMASTOWN 315 - 319 HIGH STREET



## MATERIALS AND FINISHES SCHEDULE

### ROOF:

- 1) FLAT ROOF, STEEL SHEET, ZINCALUME FINISH

### WALLS:

- 2) ALUCOBOND CLADDING, "BEIGE"  
3) CEMENT RENDER, SELECT INTEGRAL COLOUR "NATURAL WHITE"  
4) PENTHOUSE LEVEL: TIMBER CLADDING, "SPOTTED GUM"

### FEATURE FRAMED TOWERS:

- 3) CEMENT RENDER, SELECT INTEGRAL COLOUR "NATURAL WHITE"

### FEATURE FIN WALL:

- 5) COPPER CLADDING, "PER-WEATHERED"

### ENTRY AWNING:

- 2) ALUCOBOND CLADDING, "BEIGE"

### BALUSTRADING:

- 6) GLASS, CONCEALED FRAMING  
3) CEMENT RENDER, SELECT INTEGRAL COLOUR "NATURAL WHITE"

### WINDOWS:

- 7) ALUMINIUM, NATURAL ANODISED FINISH

### GLAZING:

- 8) LOW-E GLASS, SELECT GREY TINT

### FASCIA and GUTTERS:

- 9) FLAT SHEET METAL, SELECT COLORBOND COLOUR, "SHALE GREY"

### FEATURE ENTRY POSTS:

- 7) STEEL POSTS, NATURAL ANODISED FINISH

### ROLLER DOOR:

- 10) ROLLER GRILLE, STEEL FINISH STEEL

### FRONT FENCE:

- 4) TIMBER, "SPOTTED GUM"

### WALKWAY:

- 11) SANDSTONE TILES, 600 x 600

### DRIVEWAY:

- 12) CONCRETE, SELECT INTEGRAL COLOUR "TIMELESS GREY"



DATE: 8th OCTOBER 2013







THOMASTOWN  
315 - 319 HIGH STREET



TPA 2A- 2AOF 14    DATE: 8th, OCTOBER 2013  
JOB NO. 12- 65    SCALE 1: 200  
ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM

DRAWN BY: AKW  
COUNCIL SUBMISSION - 2ND GO  
TOWNPLANNING PERMIT ENDORSEMENT



<b>WHITTLESEA PLANNING SCHEME</b>	
Planning and Environment Act 1987	
Plan referred to in the Planning Permit	
Permit No. <u>714201</u>	Sheet <u>10</u> of <u>11</u>
Date Permit issued <u>20/9/2013</u>	
Town Planner <u>[Signature]</u>	Date <u>17-2-2014</u>

07 NOV 2013



## PROPOSED APARTMENTS

**315 to 319 High Street, Thomastown**

### Car Park Signage and Line Marking Plan

Prepared for: Healthville Investments Pty Ltd

A1213189V Signage and Line Marking Plan (Version 1a)

October 2013

Suite 5.04 Level 5, 365 Little Collins Street, Melbourne VIC 3000

Telephone: 03 9016 9865  
melbourne@mltraffic.com.au

Facsimile: 1300 739 523  
www.mltraffic.com.au

ML Traffic Engineers Pty Ltd



## 1. INTRODUCTION

Whittlesea City Council requires a signage and line marking parking plan for the proposed apartment development at 315 to 319 High Street, Thomastown – as per the planning permit issued on 20<sup>th</sup> September 2013.

This document addresses Condition 3 (e) of the planning permit, which requires “all signage and line-marking detail consistent with relevant standards”. It considers the following points:

- Verbal discussions between Michael Lee of ML Traffic Engineers and Mr Michael Constantine of Council’s Established Areas Planning Department and Mr Mark De Christoforo from Council’s Engineering and Transportation Department.
- Car park signage and line-marking requirements will apply to areas of the car park that are accessible to visitors only. The tenant parking area, which is located within a secured area, is subject to signage and/or line-marking details as per the nominated body corporate’s requirements – which will be addressed after the building has been constructed and a body corporate agent engaged.
- The visitor parking management plan prepared by us in July 2013, which provides a framework for the body corporate to manage on-site visitor car parking.
- Signage associated with building regulations (e.g. emergency, etc) is a building compliance matter and not a traffic engineering matter.

## 2. VISITOR SPACE SIGNAGE

Visitor parking spaces are referenced as 1, 2, 3, 36, 37, 38, 39 and 40 in the plan of the basement car park.

- 3 visitor parking with directional arrow signs measuring 300mm wide by 450mm deep, bolted to the wall with the lower edge at 1.5m from the basement floor, will be placed along the wall that spaces 36, 37, 38, 39 and 40 front onto. The sign over space 40 will have a right facing arrow, and be positioned 600mm from the left edge. The sign over space 38 will not have any arrows and be positioned equidistant from the edges. The sign over space 36 will have a left facing arrow, and be positioned 600mm from the right edge.
- 2 visitor parking with directional arrow signs measuring 300mm wide by 450mm deep, bolted on the wall with the lower edge at 1.5m from the basement floor, will be placed along the wall that spaces 1, 2 and 3 front onto. The sign over space 1 will have a right facing arrow, and be positioned 600mm from the left edge. The sign over space 3 will have a left facing arrow, and be positioned 600mm from the right edge.



The signs are available from Seton. See <http://www.seton.com.au>. See Table 1 and Appendix A.




Sign	Location
	Over space 3 and space 36.
	Over space 1 and space 40.
	Over space 38.

Table 1: Visitor Parking Signs





### 3. VISITOR DIRECTIONAL SIGNS

Custom-made visitor directional signs with white lettering on blue background, and measuring 300mm high and 600mm wide will be placed at 3 locations:

- Sign with left-pointing arrow on the western wall of the ramped driveway, 600mm in from the building line (not the property line), with the lower edge 1.65m from the driveway surface, for drivers turning left into the car park.
- Sign with right-pointing arrow on the eastern wall of the ramped driveway, 600mm in from the building line (not the property line), with the lower edge 1.65m from the driveway surface, for drivers turning right into the car park.
- Sign with left-pointing arrow on the southern external wall of the staircase core, 1500mm in from the internal tenant car park security door, with the lower edge 1.65m from the driveway surface, for drivers turning from the access ramp into the internal car park access ways.

See Table 2.

Sign	Location
<p>A blue rectangular sign with the word 'Visitor' in white. To the right of the word is a white 'P' in a blue square, followed by a white left-pointing arrow.</p>	<p>The western wall of the ramped driveway, 600mm in from the building line (not the property line), and the southern external wall of the staircase core, 1500mm in from the internal tenant car park security door.</p>
<p>A blue rectangular sign with the word 'Visitor' in white. To the right of the word is a white 'P' in a blue square, followed by a white right-pointing arrow.</p>	<p>The eastern wall of the ramped driveway, 600mm in from the building line (not the property line).</p>

Table 2: Visitor Directional Signs





#### 4. VISITOR SPACE PAVEMENT IDENTIFIER

Each visitor space will be marked with yellow sprayed “VISITOR” pavement marking made from a 300mm x 980mm “VISITOR” stencil as per Figure 1. The stencil is available from Stencil Gallery – <http://www.stencilgallery.com.au>. The “VISITOR” pavement marking will be positioned 300mm from the access aisle, and equidistant from the edges of the space.



Figure 1: Visitor Pavement Marking

#### 5. TENANT SPACE PAVEMENT IDENTIFIER

The tenant parking area, which is located within a secured area, is subject to signage and/or line-marking details as per the body corporate's requirements, noting that the body engagement of a body corporate is done after the building has been completed.

A suggested identification system involves the use of 300mm high numbers and/or letter, as per Figure 2. The stencil is available from A Grade Stencils – <http://www.a-grade.com.au>. The parking bay number will be positioned 300mm from the access aisle, and equidistance from the edges of the space.



Figure 2: Parking Bay Numbering Stencils



## 6. ACCESS RAMP LINE MARKING

The access ramp comprises a 5.8m wide two-way vehicular carriageway and a 1.2m wide pedestrian access way that is **RAISED by 150mm** relative to the vehicular carriageway. This ensures “hard” segregation of the pedestrian access way from the vehicular carriageway, and provides clarity to drivers and pedestrians as to which carriageway to use. No pavement marking is necessary.

It is not common practice to line mark ramped driveways for private residential buildings. Traffic movements for the proposed car park are highly directional, with majority of movements occurring during AM departure and PM arrival periods. The 4.0m turning radius requirement of manoeuvring vehicles renders any centre line marking on the ramp as meaningless, as drivers have to veer to the opposing lane to turn into the perpendicular orientated access way in the basement.

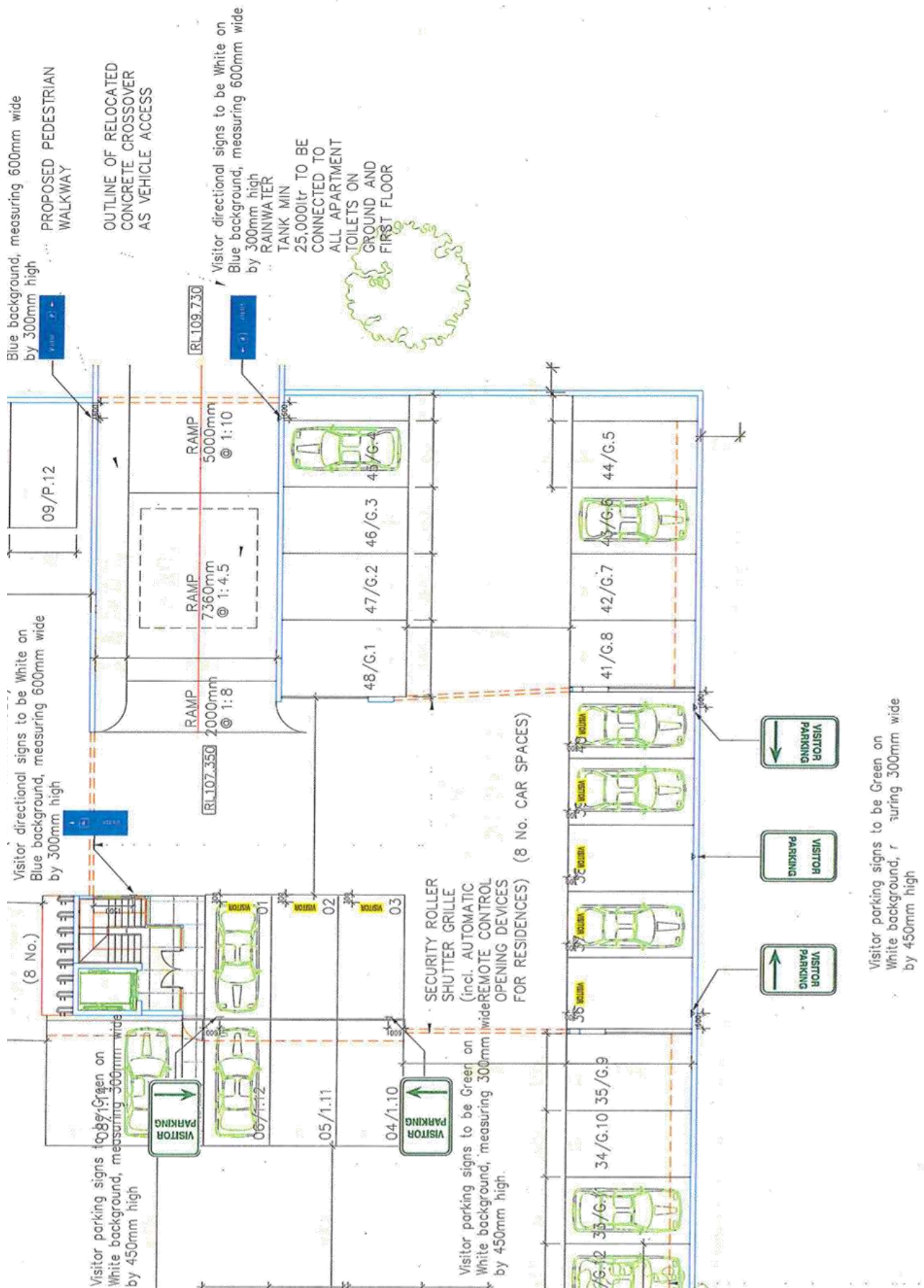
There will be no median line within the access aisle where the 90-degree spaces are accessed from. We have never seen a car park with a median line marked along the access aisle.

## 7. PARKING SPACE LINE MARKING

All parking bays are to be marked with 80mm to 100mm (this is the range indicated in AS2890.1:2004) thick continuous white lines.

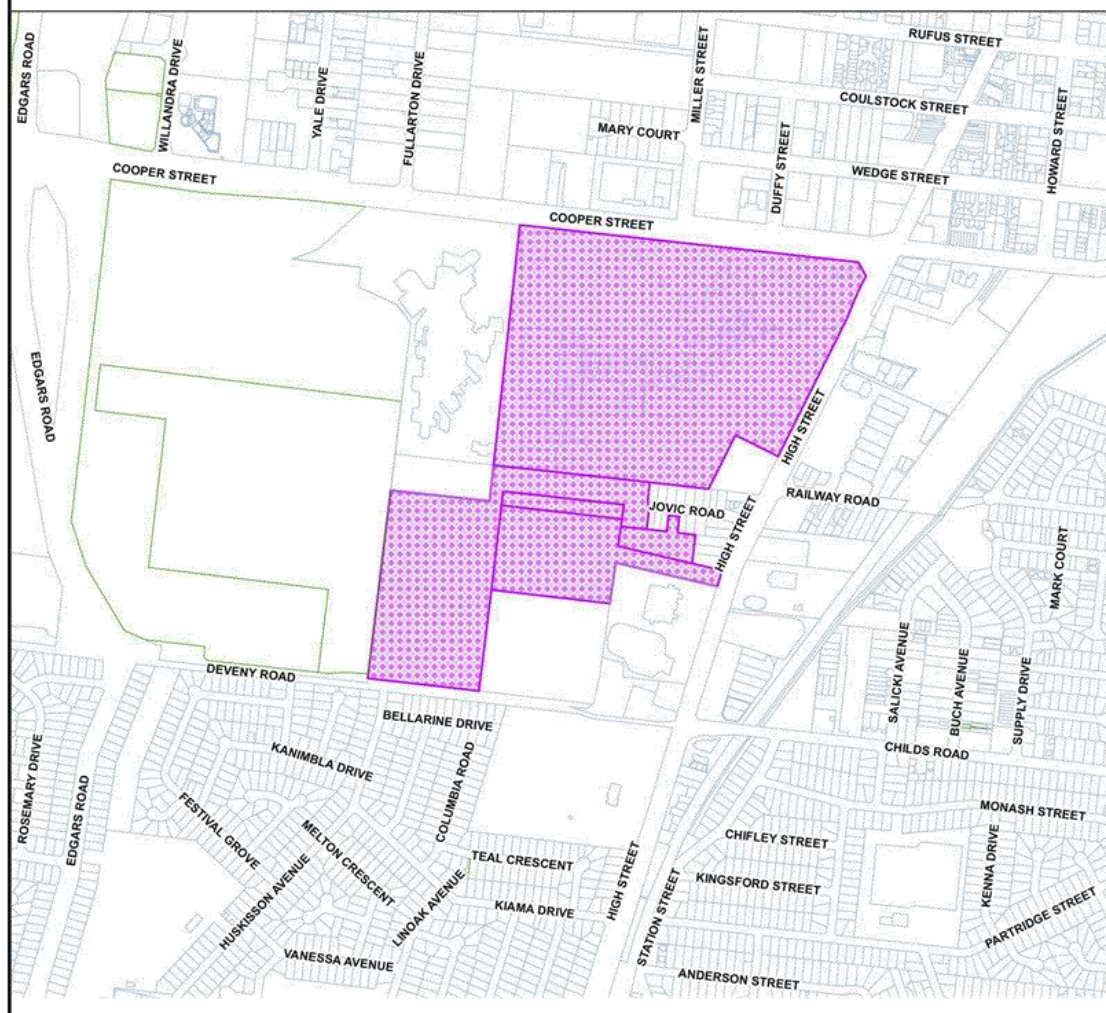



## Appendix A: Signage and Line Marking Plan for the Visitor Parking Area





## PLANNING APPLICATION NO. 713585



 Subject Land



City of  
Whittlesea

## ESTABLISHED AREAS PLANNING REPORT

## PLANNING APPLICATION NO. 713585



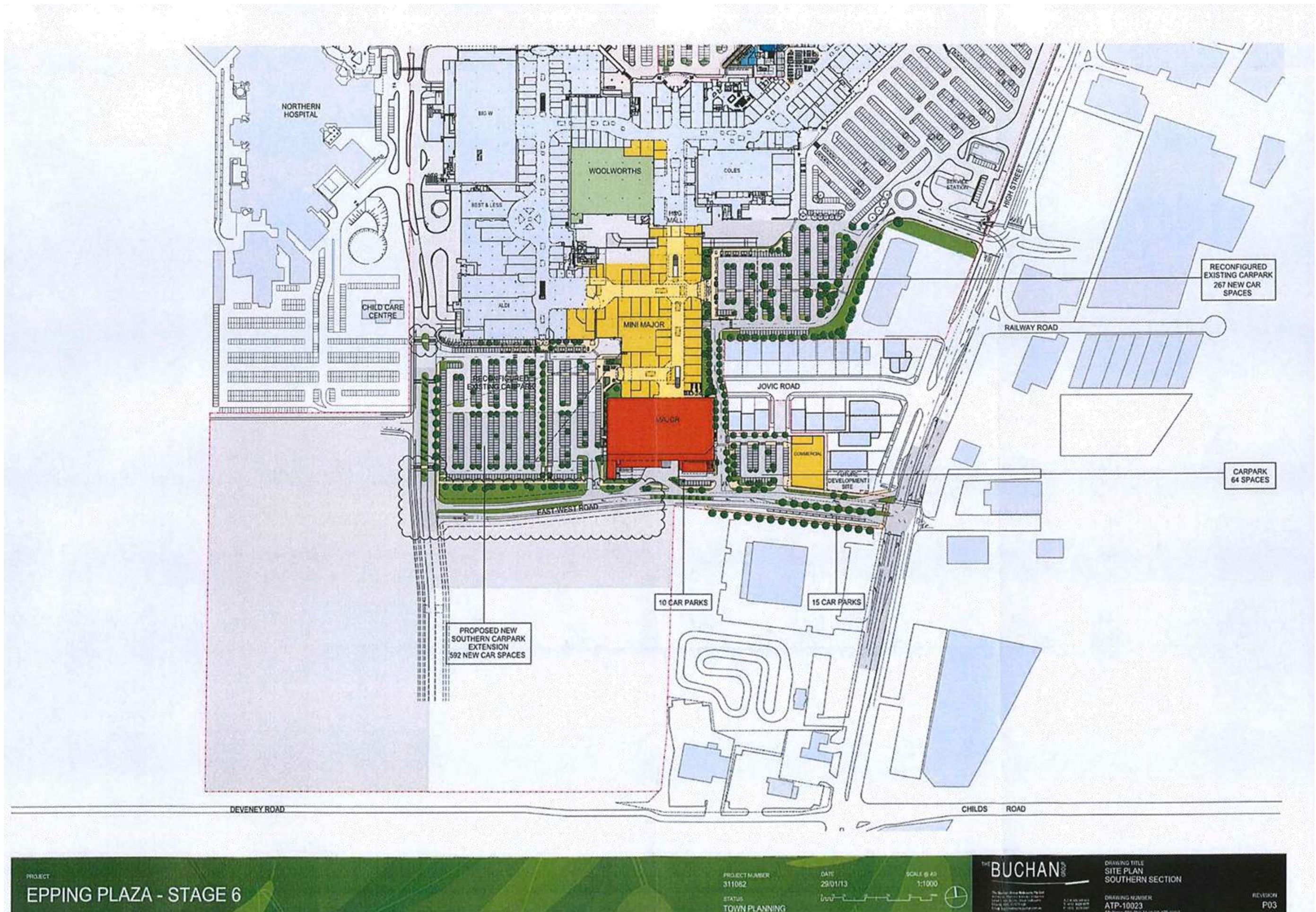
 Subject Land



City of  
Whittlesea

ESTABLISHED AREAS PLANNING REPORT








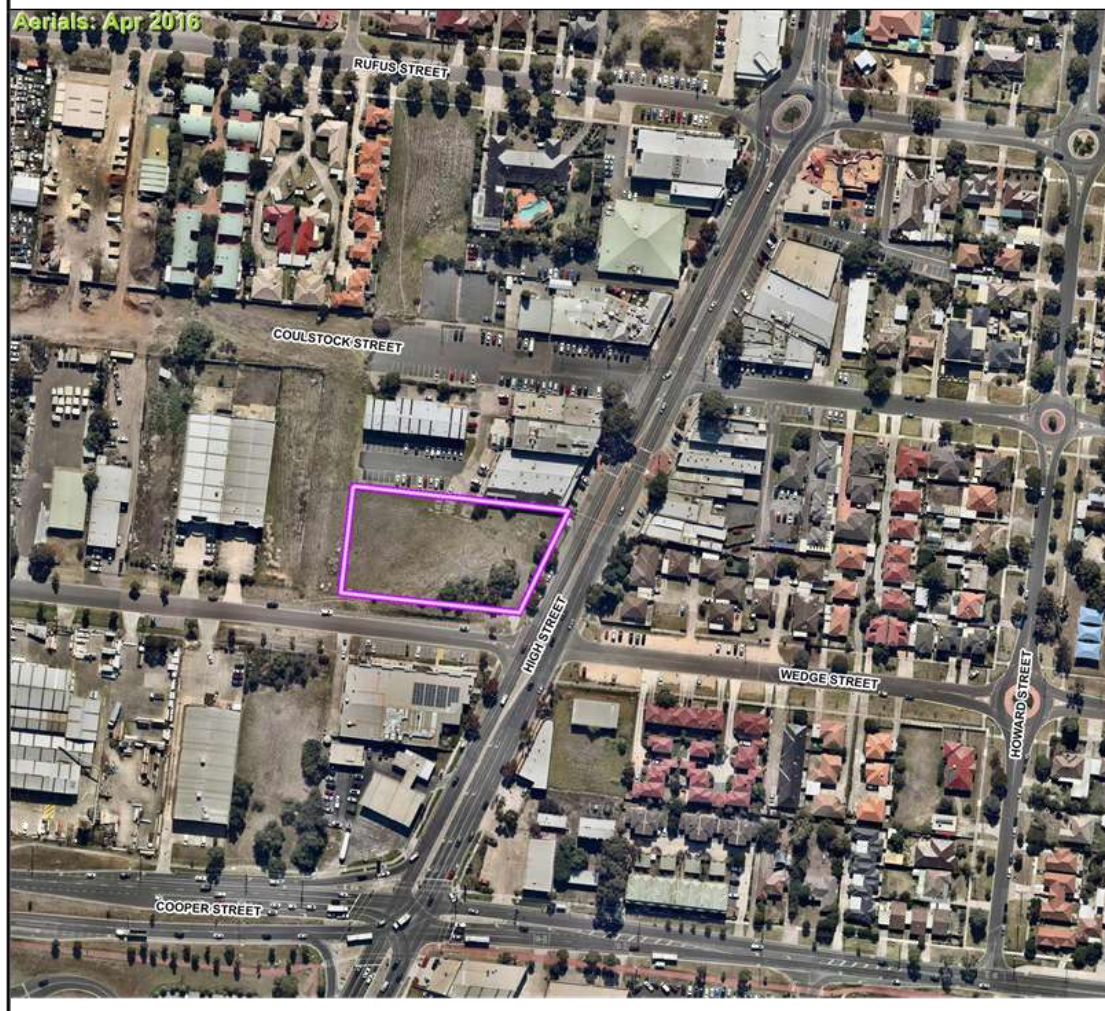




**PLANNING APPLICATION NO. 713509** **Subject Land****City of  
Whittlesea****ESTABLISHED AREAS PLANNING REPORT**

**PLANNING APPLICATION NO. 713509**

Aerials: Apr 2016

**Subject Land****City of  
Whittlesea****ESTABLISHED AREAS PLANNING REPORT**





WHITTLESEA PLANNING SCHEME  
Planning and Environment Act 1997  
Plan released in the Planning Portal  
App No: 73509 Date: 1/2  
Sub-Planning: 23/9/13  
10/9/14  
(Further Plans Part)

## AMENDMENTS

REV.	DATE	DESCRIPTION	DR
0	05/01/2014	COUNCIL RESOLUTION	

**NOTE**

ALL DIMENSIONS TO BE CHECKED ON SITE  
ANY DISCREPANCIES TO BE REFERRED TO  
USE WRITTEN DIMENSIONS ONLY, DO NOT  
SCALE FROM DRAWINGS.

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**CLIENT**

PELLIGRA GROUP

## PROJECTS

719 HIGH STREET, EPPING

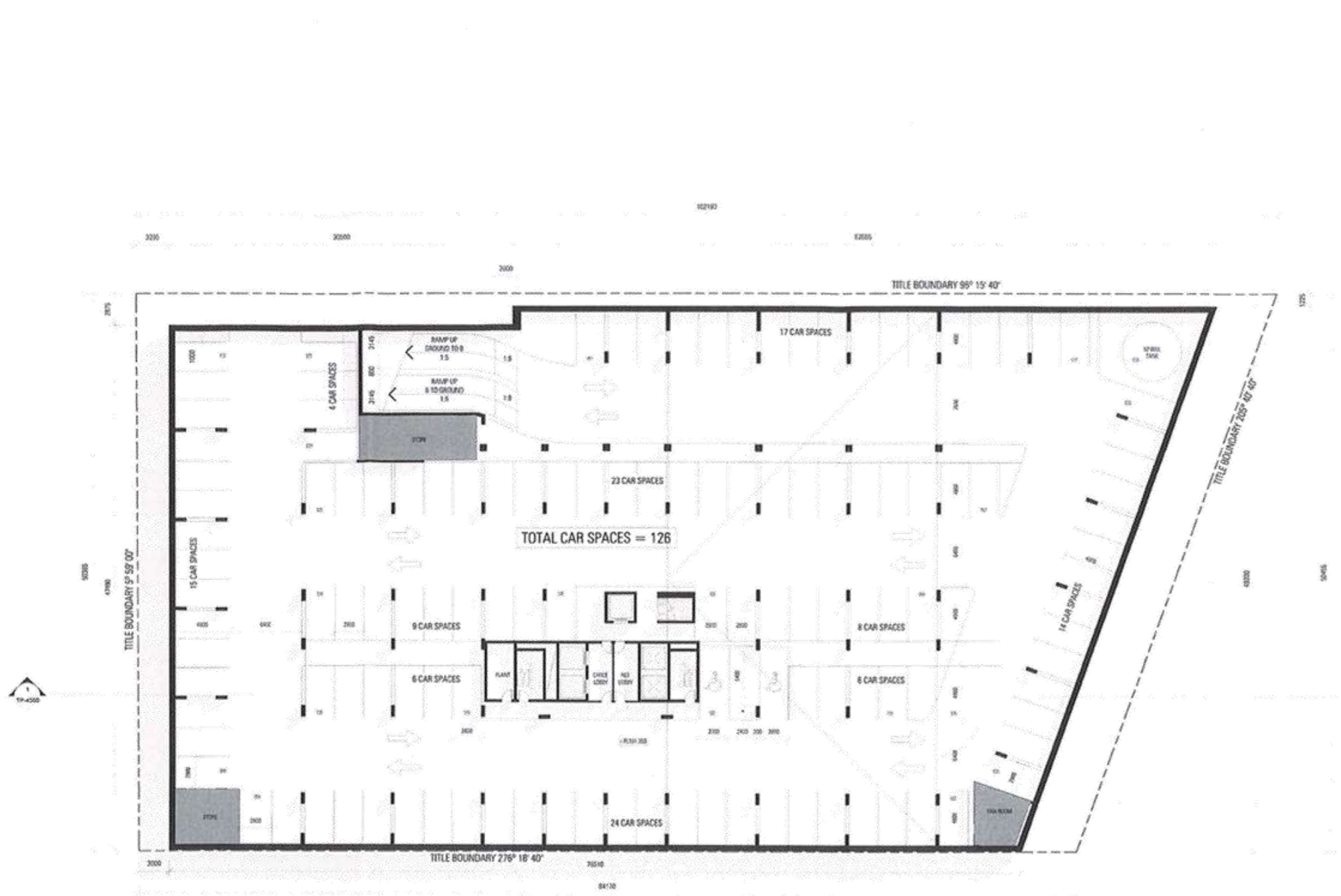
## DRAINAGE

## SITE PLAN

## ARCHITECT

2558 COLLING ST, DOCKLANDS VIC 3088 AUSTRALIA  
PO BOX 21118, DOCKLANDS VIC 3082 AUSTRALIA  
+61 832 881 801  
WWW.ICKEY.COM.AU  
iWolf  
MELBORNE SYDNEY BRISBANE  
ADELAIDE AUSTRALIA AUSTRALIA AUSTRALIA AUSTRALIA

DATE 09/09/14  
DRAWN DS  
SCALE 1:500  
PROJECT NO. 14010  
CHECK GW



NOTE:

1. ALL DIMENSIONS TO BE CHECKED ON SITE  
2. ANY DISCREPANCIES TO BE REFERRED TO  
3. USE WRITTEN CHECKS ONLY, DO NOT  
4. SCALE FROM DRAWINGS.

6. COPYRIGHT

AMENDMENTS

REV.	DATE	DESCRIPTION	DRAWN
1	20/09/14	ISSUED FOR PERMIT	DS
2	23/09/14	ISSUED FOR PERMIT	DS
3	23/09/14	ISSUED FOR PERMIT	DS
4	23/09/14	ISSUED FOR PERMIT	DS
5	23/09/14	ISSUED FOR PERMIT	DS
6	23/09/14	ISSUED FOR PERMIT	DS
7	23/09/14	ISSUED FOR PERMIT	DS
8	23/09/14	ISSUED FOR PERMIT	DS
9	23/09/14	ISSUED FOR PERMIT	DS
10	23/09/14	ISSUED FOR PERMIT	DS
11	23/09/14	ISSUED FOR PERMIT	DS
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32	23/09/14	ISSUED FOR PERMIT	DS
33	23/09/14	ISSUED FOR PERMIT	DS
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719 HIGH STREET, EPPING

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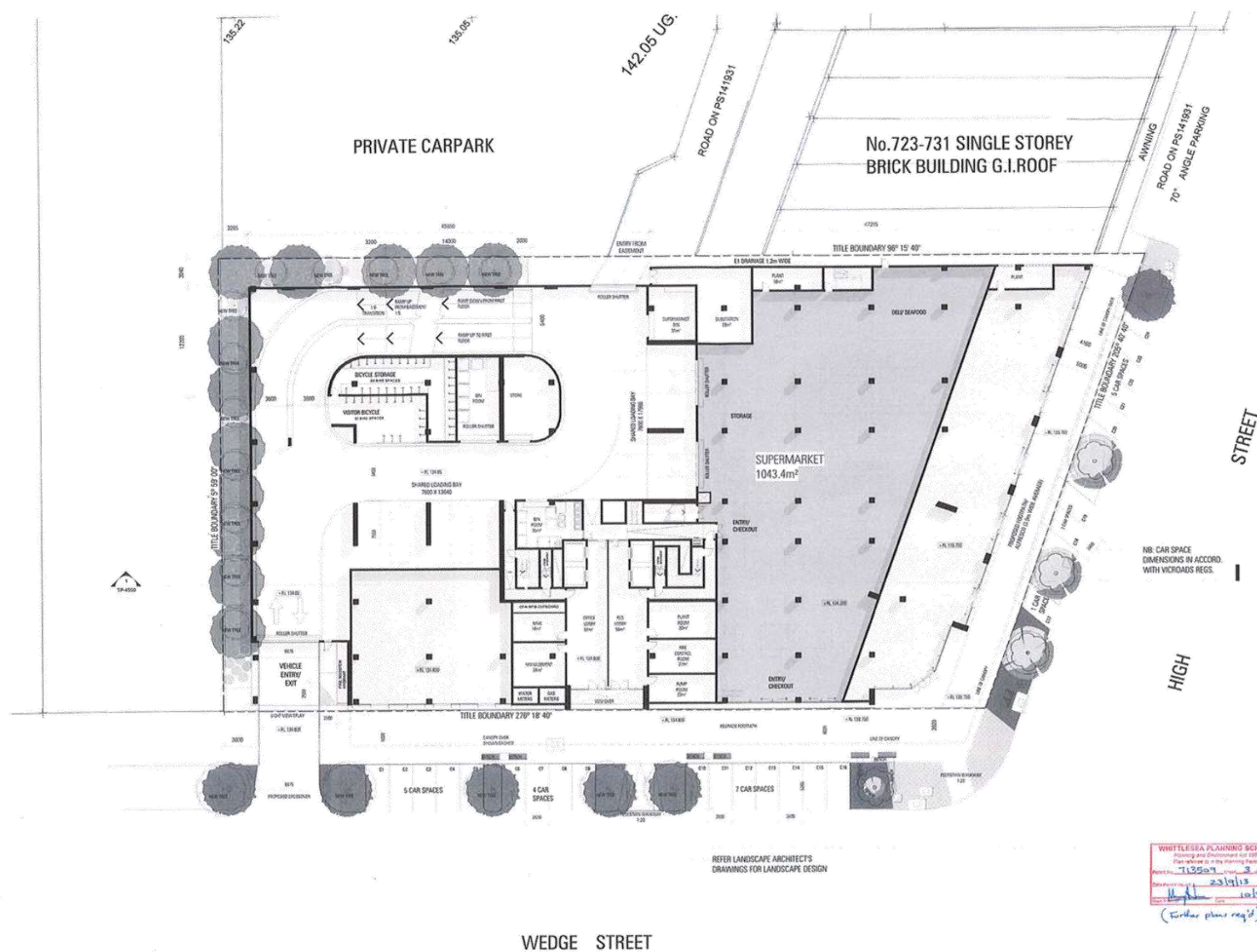
BASEMENT PLAN

WHITTLESSEA PLANNING SCHEME  
Planning and Development Act 1987  
That referred to in the Planning Scheme  
Project No. 712509  
Date 23/09/14  
10/10/14  
(Further plans req'd)

ARCHITECT

200/200 LINDA ST, DOONAN VIC 3206 AUSTRALIA  
PO BOX 210, DOONAN VIC 3206 AUSTRALIA  
41 412 84 84  
WWW.WOLFF.COM.AU  
ANNOUN@WOLFF.COM.AU  
WOLFF  
ARCHITECTURE  
DATE 09/09/14  
DRAWN DS  
SCALE 1:200  
PROJECT NO 14010  
CHECK GW





NOTE:

## AMENDMENTS

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NOTE

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PELLIGRA GROUP

## SUBJECTS

719 HIGH STREET, EPPING

**Journal of Management Education**

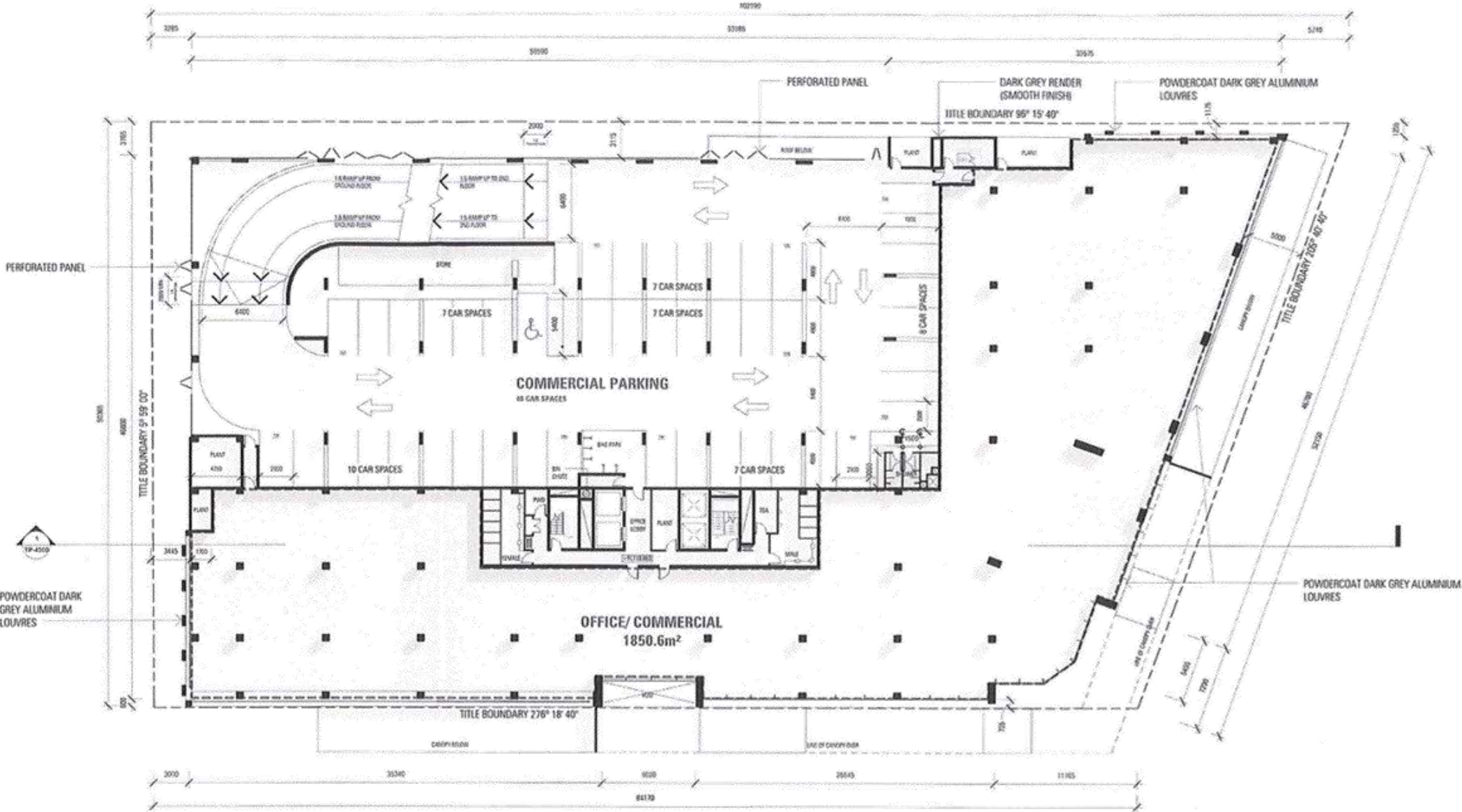
### GROUND FLOOR PLAN

**REFERENCES**

7056N COLLINS ST, DOORLANDS VIC, 3008 AUSTRALIA  
PO BOX 29178, DOORLANDS VIC, 3012 AUSTRALIA  
+61 412 846 811  
DOOR WOLFF COB AG  
#DOORWOLFF@DOORWOLFF.COM.AU  
i.wolff

DATE 09/09/14

PROJECT NO. 14010



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12. JAMES GARRARD, BICKLEIGH, VIC 3083, AUSTRALIA  
13. PO BOX 2178, DOCKLANDS, VIC 3207, AUSTRALIA  
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AMENDMENTS

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LEVEL 1 FLOOR PLAN  
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PO BOX 2178, DOCKLANDS, VIC 3207, AUSTRALIA  
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719 HIGH STREET, EPPING

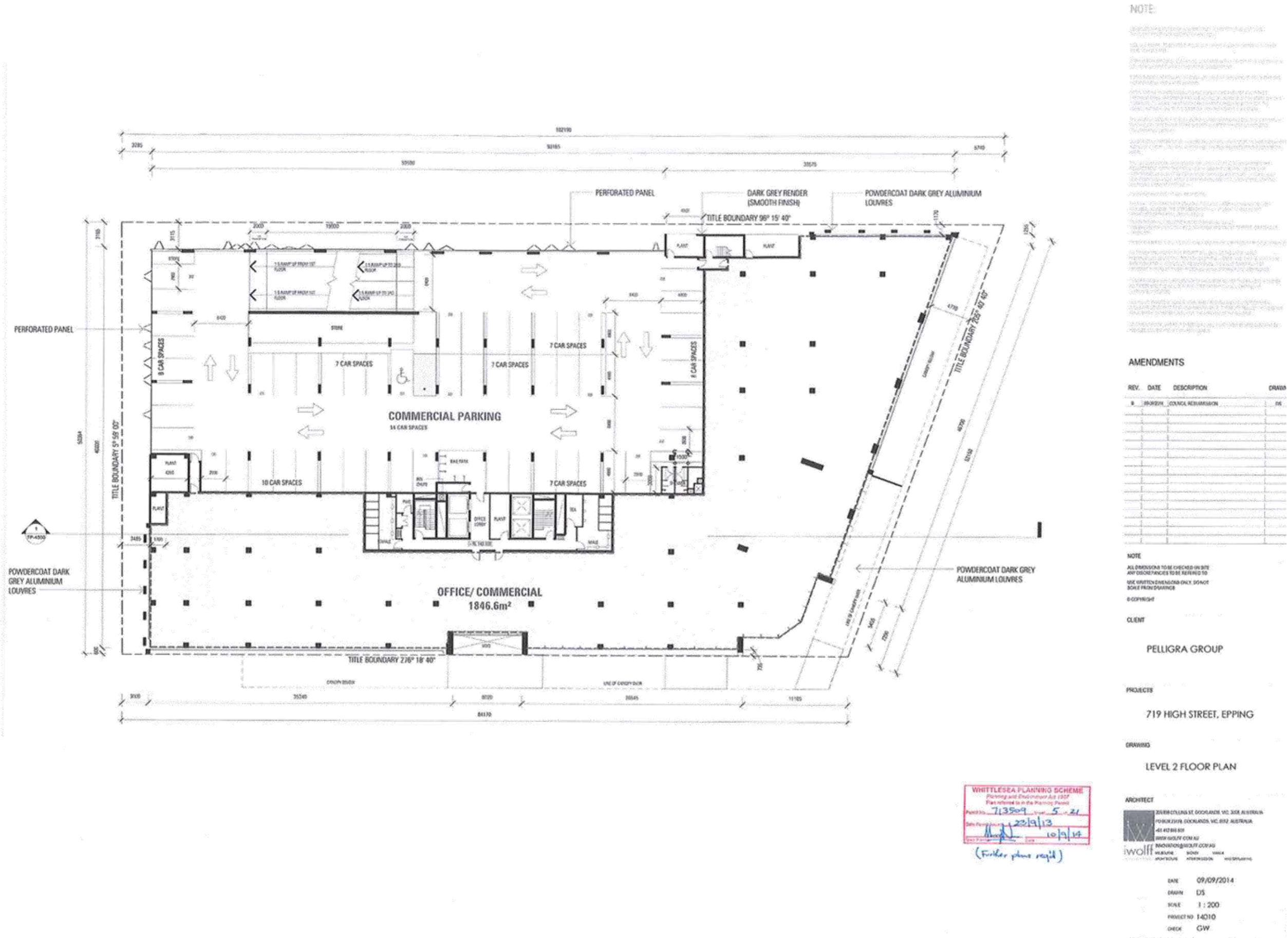
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LEVEL 1 FLOOR PLAN

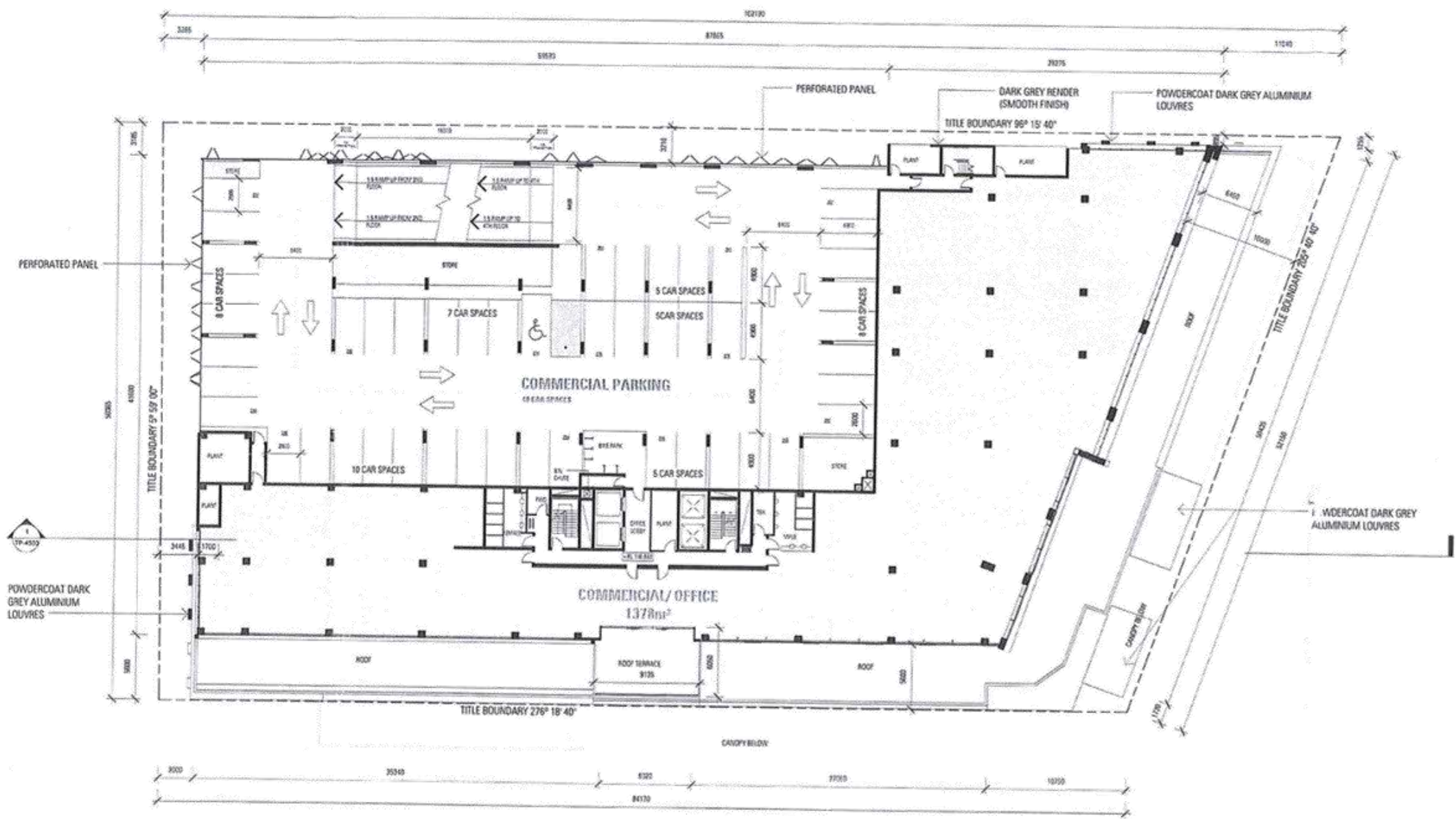
ARCHITECT

JAMES GARRARD, BICKLEIGH, VIC 3083, AUSTRALIA  
PO BOX 2178, DOCKLANDS, VIC 3207, AUSTRALIA  
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AMENDMENTS

REV.	DATE	DESCRIPTION	DRAWN
B	08/01/14	COUNCIL REVISION	DS
C	14/01/14	COMMERCIAL USE CORRECTED	DS

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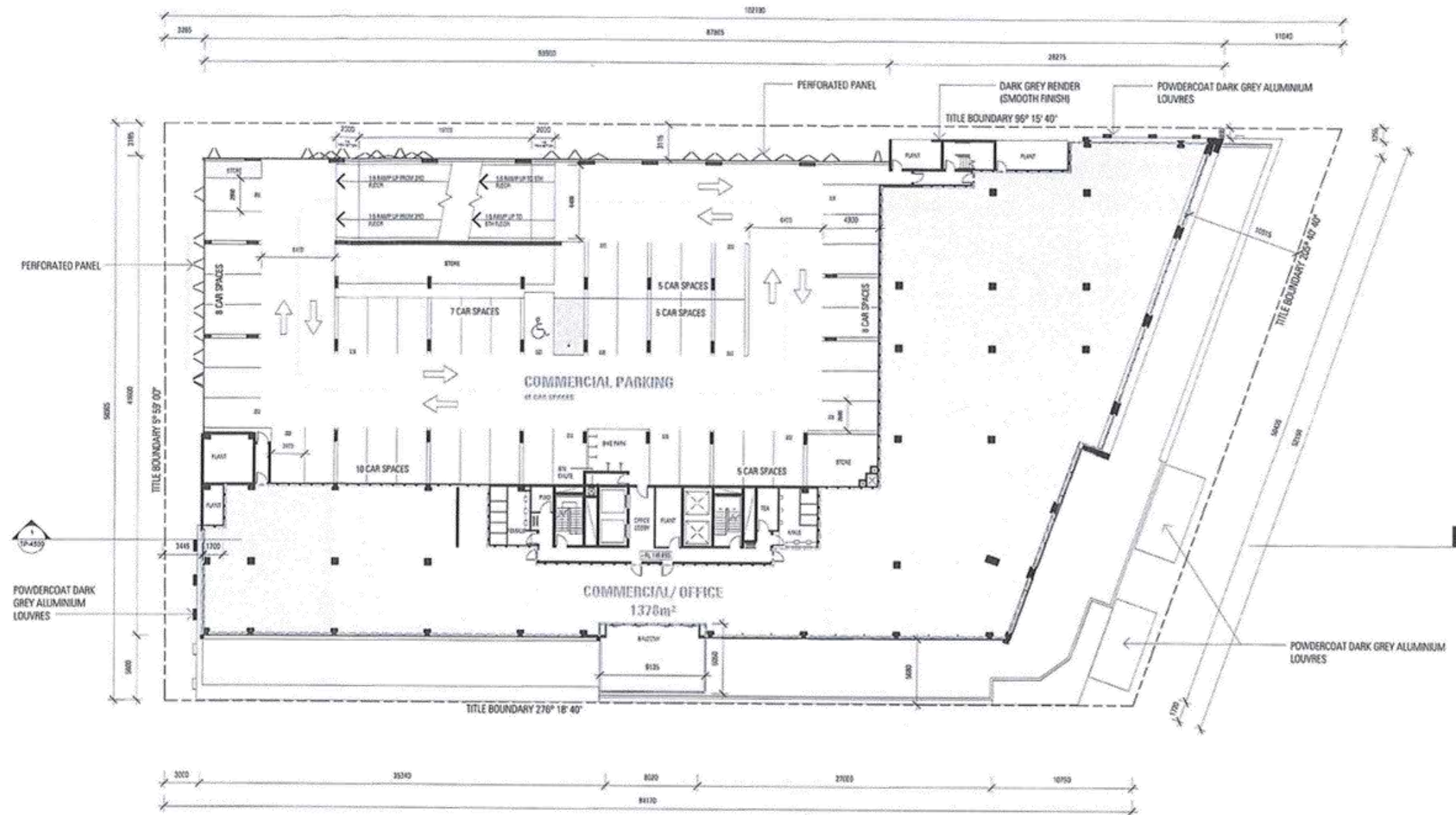
PROJECTS  
719 HIGH STREET, EPPING

DRAWING  
LEVEL 3 FLOOR PLAN

ARCHITECT  
iwoffi  
25 BIRCHMOUNT ST, DOCKLANDS VIC 3008 AUSTRALIA  
PO BOX 2708 DOCKLANDS VIC 3008 AUSTRALIA  
03 9412 8800  
WWW.IWOFFI.COM.AU  
iwoffi  
ARCHITECTURE INTERIORS INTERIORS

DATE 06/10/14  
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PROJECT NO. 14010  
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WHITFIELD PLANNING SCHEME  
Planning and Environment Act 1987  
Plan referred to in the Planning Scheme  
713.50-9 0-21  
23/9/13  
17/3/15  
(Further plans req'd)



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REV.	DATE	DESCRIPTION	DRAWN
B	18/03/2014	CONVULSION RESUBMISSION	DS
C	18/03/2014	CONVULSION USE CORRECTED	DS

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LEVEL 4 FLOOR PLAN

ARCHITECT

WHITFIELD PLANNING & ARCHITECTURE  
PO BOX 2178, DOCKLANDS VIC 3008 AUSTRALIA  
PH: 03 9347 1111  
WWW.WHITFIELD.COM.AU  
ADMIN@WHITFIELD.COM.AU

DATE 06/10/14

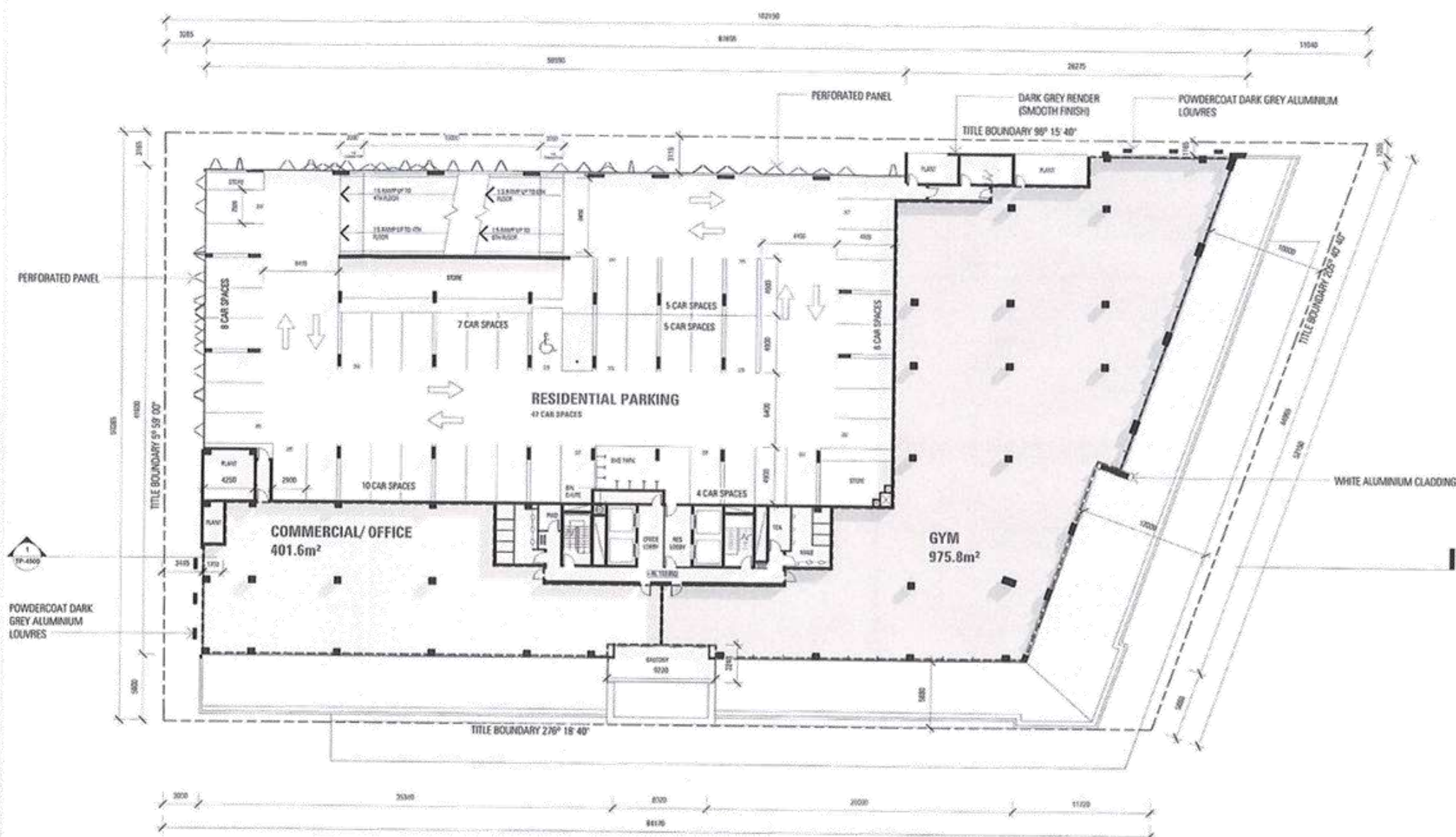
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NOTE:

## AMENDMENTS

REV	DATE	DESCRIPTION	DRAWN
1	2/26/2014	CANCEL REVISION	DB

**NOTE**  
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e-converter

CLIENT

PELLIGRA GROUP

## PROJECTS

719 HIGH STREET, EPPING

OPINIONS

LEVEL 5 FLOOR PLAN

ARCHITECT

**iwolf**  
ARCHITECTS

3100 COLLINS ST. DOCKLANDS, VIC. 3008 AUSTRIA  
PO BOX 2578 DOCKLANDS, VIC. 3042, AUSTRALIA  
+61 852 448 030  
WWW.IWOLFF.COM.AU  
#ARCHITECTINGWOLFF.COM.AU

MELBOURNE SYDNEY PERTH  
ADELAIDE BRISBANE CANBERRA

DATE 09/09/14

GRAND DS

SCALE 1 : 200

PROJCT NO. 14010

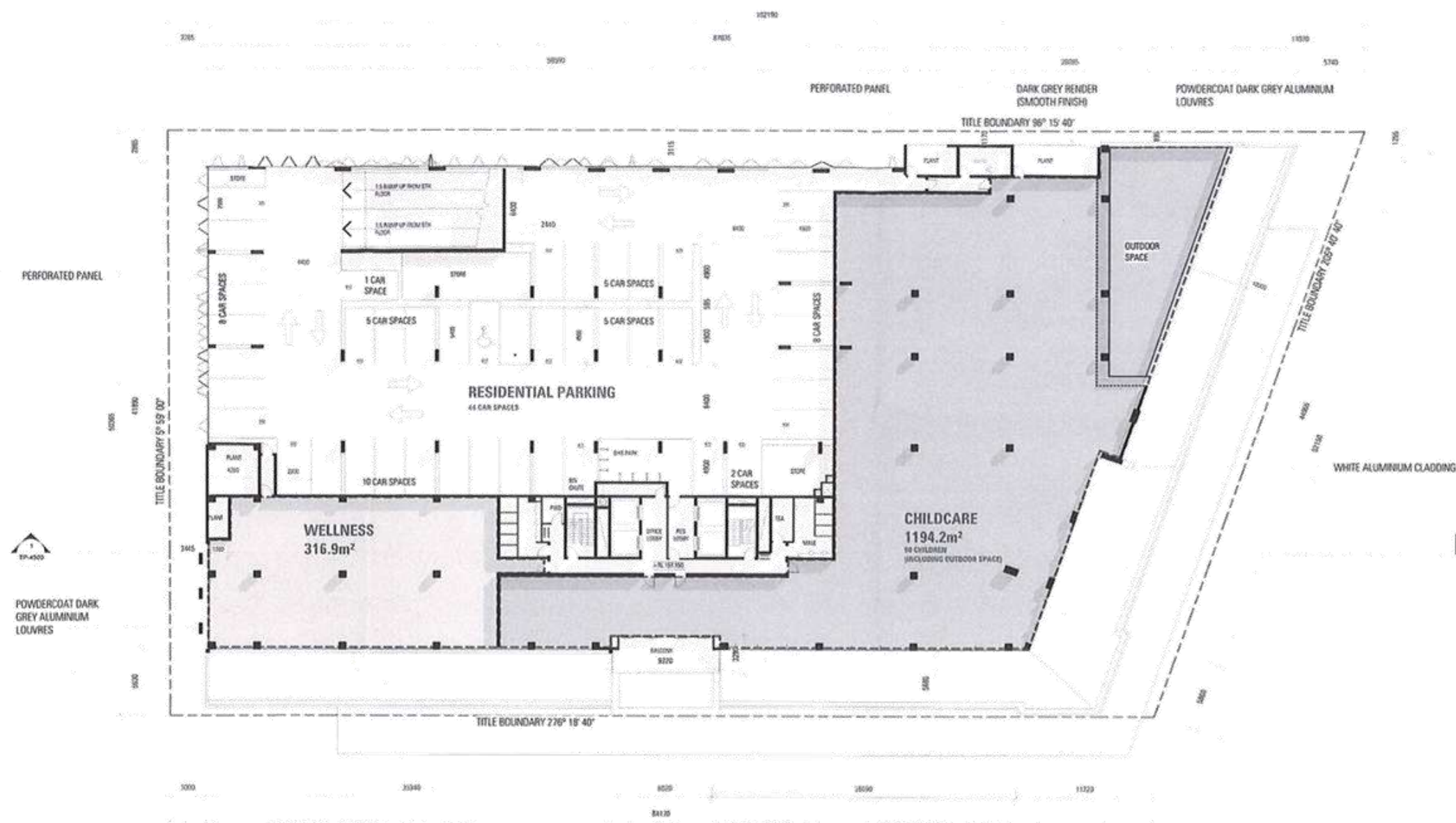
DECE GW  
DISCONTINUOUS TB 2105

WHITTLESEA PLANNING SCHEME  
Planning and Enforcement Act 1997  
Plan referred to in the Planning Permit

Permit No.	712549	Page	8 of 21
Date Made	23/9/13		
Author	M. N.	10/9/14	
Approved			

(Further plans req'd)





NOTE

## AMENDMENTS

REV	DATE	DESCRIPTION	DRAWN
0	2/25/24	CANCEL RESUBMISSION	DS

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20090228

QUEST

PELLIGRA GROUP

## PROJECTS

719 HIGH STREET, EPPING

LEVEL 6 FLOOR PLAN

ARCHITECTI

205-639 COLLINS ST, DOCKLANDS, VIC. 3008 AUSTRALIA  
PO BOX 23178, DOCKLANDS, VIC. 3012 AUSTRALIA  
+61 412 845 821  
www.michaejones.net

**iwolf** INTERNATIONAL WOLFF COMAU  
 ARCHITECTURE INTERIOR DESIGN HINTERPLANUNG

DATE: 09/09/14

BRAND

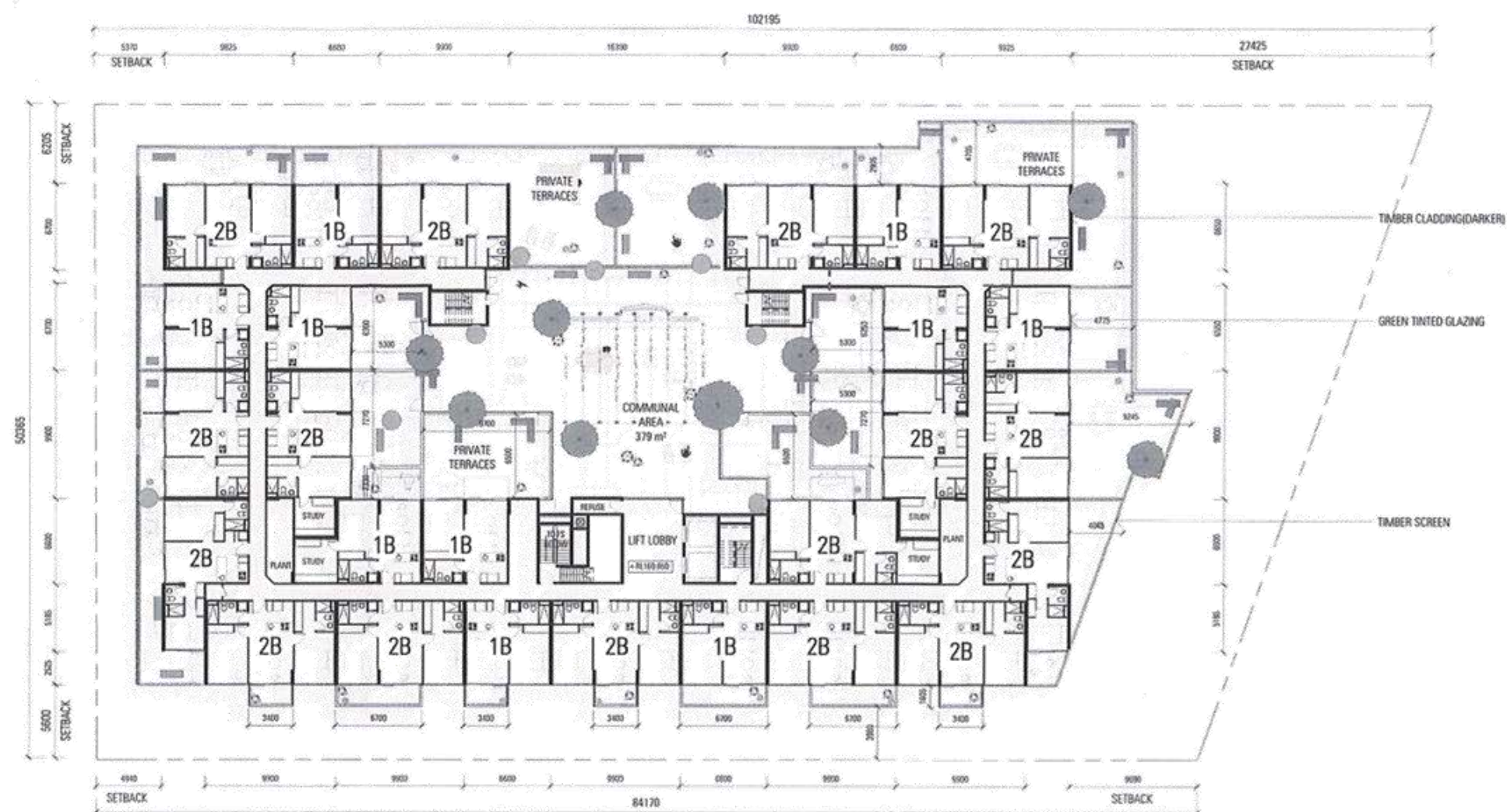
SCALE 1 : 200

PROJECT NO. 14010

DECK GW

Internet address: <http://www.fishbase.org>

 Springer



NOTE:

1. 2010年10月1日起, 凡在中华人民共和国境内销售货物或者提供加工、修理修配劳务以及进口货物的单位和个人, 均应当缴纳增值税。

2. 增值税的征税范围包括: 销售货物、提供加工、修理修配劳务、进口货物。

3. 增值税的税率: 基本税率17%, 低税率13%, 零税率。

4. 增值税的应纳税额: 应纳税额=当期销项税额-当期进项税额。

5. 增值税的纳税义务发生时间: 销售货物为货物发出的当天; 提供加工、修理修配劳务为提供劳务完成的当天; 进口货物为报关进口的当天。

6. 增值税的纳税期限: 1日、3日、5日、10日、15日、1个月、2个月、3个月、6个月、12个月。

7. 增值税的纳税地点: 销售货物为纳税人机构所在地; 提供加工、修理修配劳务为纳税人机构所在地; 进口货物为报关地。

8. 增值税的税收优惠: 免征增值税、减征增值税、即征即退、先征后返。

9. 增值税的征收管理: 纳税人、扣缴义务人、税务机关、海关。

10. 增值税的法律责任: 偷税、欠税、骗税、抗税。

## AMENDMENTS

[illegible]

**NOTE**  
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ANY DISCREPANCIES TO BE REFERRED TO  
USC WRITTEN DIMENSIONS ONLY, DO NOT  
SCALE FROM DRAWING

**CLIENT**

PELLIGRA GROUP

PROJECTS


719 HIGH STREET

DRUFINO

LEVEL 7 FLOOR PLAN

ARCHITECT

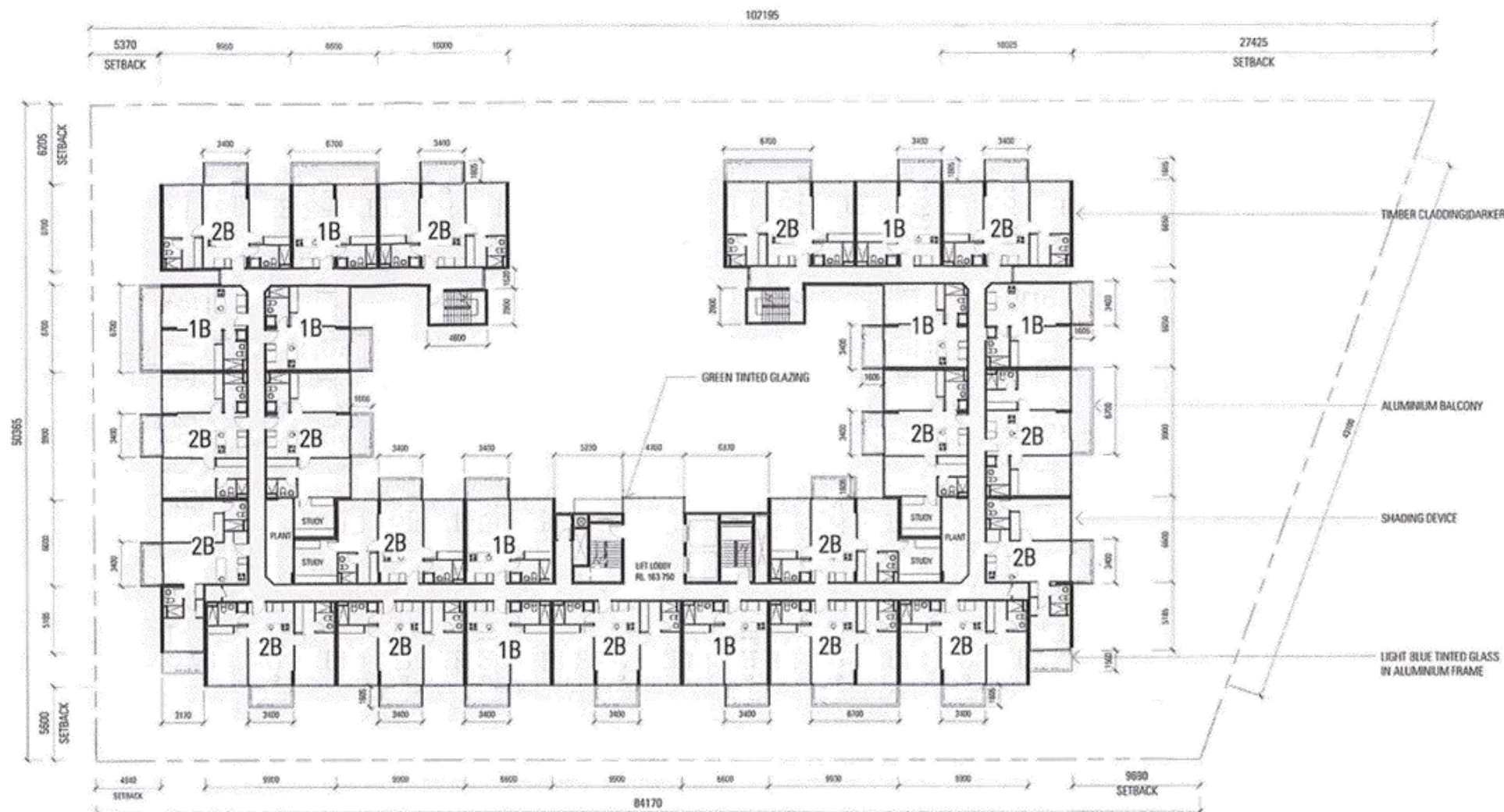
**iwolff**  
ARCHITECTURE INTERIOR DESIGN



DATE	09/09/2014
DRAWN	DS
SCALE	1 : 200
PROJECT NO	14010
CHECK	GW

WHITTLESEA PLANNING SCHEME  
Planning and Enforcement Act 1967  
Plan referred to in the Planning Portal  
Parted by: 713509 Date: 10/9/13  
Dated: 23/9/13  
M/N  
(Further plans req'd)





1. 在 2010 年 12 月 31 日，A 公司有一笔应付账款，金额为 100 万元。该笔应付账款的账龄为 1 年以上。A 公司对该笔应付账款计提了 10 万元的坏账准备。

2. 在 2011 年 1 月 1 日，A 公司对该笔应付账款进行了减值测试。测试结果表明，该笔应付账款的可收回金额为 90 万元。因此，A 公司决定对该笔应付账款计提 10 万元的坏账准备。

3. 在 2011 年 1 月 1 日，A 公司对该笔应付账款进行了减值测试。测试结果表明，该笔应付账款的可收回金额为 90 万元。因此，A 公司决定对该笔应付账款计提 10 万元的坏账准备。

4. 在 2011 年 1 月 1 日，A 公司对该笔应付账款进行了减值测试。测试结果表明，该笔应付账款的可收回金额为 90 万元。因此，A 公司决定对该笔应付账款计提 10 万元的坏账准备。

5. 在 2011 年 1 月 1 日，A 公司对该笔应付账款进行了减值测试。测试结果表明，该笔应付账款的可收回金额为 90 万元。因此，A 公司决定对该笔应付账款计提 10 万元的坏账准备。

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7. 在 2011 年 1 月 1 日，A 公司对该笔应付账款进行了减值测试。测试结果表明，该笔应付账款的可收回金额为 90 万元。因此，A 公司决定对该笔应付账款计提 10 万元的坏账准备。

8. 在 2011 年 1 月 1 日，A 公司对该笔应付账款进行了减值测试。测试结果表明，该笔应付账款的可收回金额为 90 万元。因此，A 公司决定对该笔应付账款计提 10 万元的坏账准备。

9. 在 2011 年 1 月 1 日，A 公司对该笔应付账款进行了减值测试。测试结果表明，该笔应付账款的可收回金额为 90 万元。因此，A 公司决定对该笔应付账款计提 10 万元的坏账准备。

10. 在 2011 年 1 月 1 日，A 公司对该笔应付账款进行了减值测试。测试结果表明，该笔应付账款的可收回金额为 90 万元。因此，A 公司决定对该笔应付账款计提 10 万元的坏账准备。

## AMENDMENTS

REV.	DATE	DESCRIPTION	DRAWN
0	28/05/2014	COUNCIL RESUBMISSION	0

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--------

PELLIGRA GROUP

## PROJECTS

719 HIGH STREET

CRAYING

LEVEL 8 PLAN (L9 SIMILAR)

## ARCHITECT

20/18 COLINS ST, DOCKLANDS, VIC, 3008 AUSTRALIA  
PO BOX 20178 DOCKLANDS, VIC, 3002 AUSTRALIA  
+61 82 846 801  
WWW.WOLFF.COM.AU  
INNOVATION@WOLFF.COM.AU

WOLFF  
VIBRATION  
ANALYTICS

DESIGN  
HYDRA  
HYDROTECH

WATERWORKS

DATE 09/09/14

DS

SCALE 1 : 200

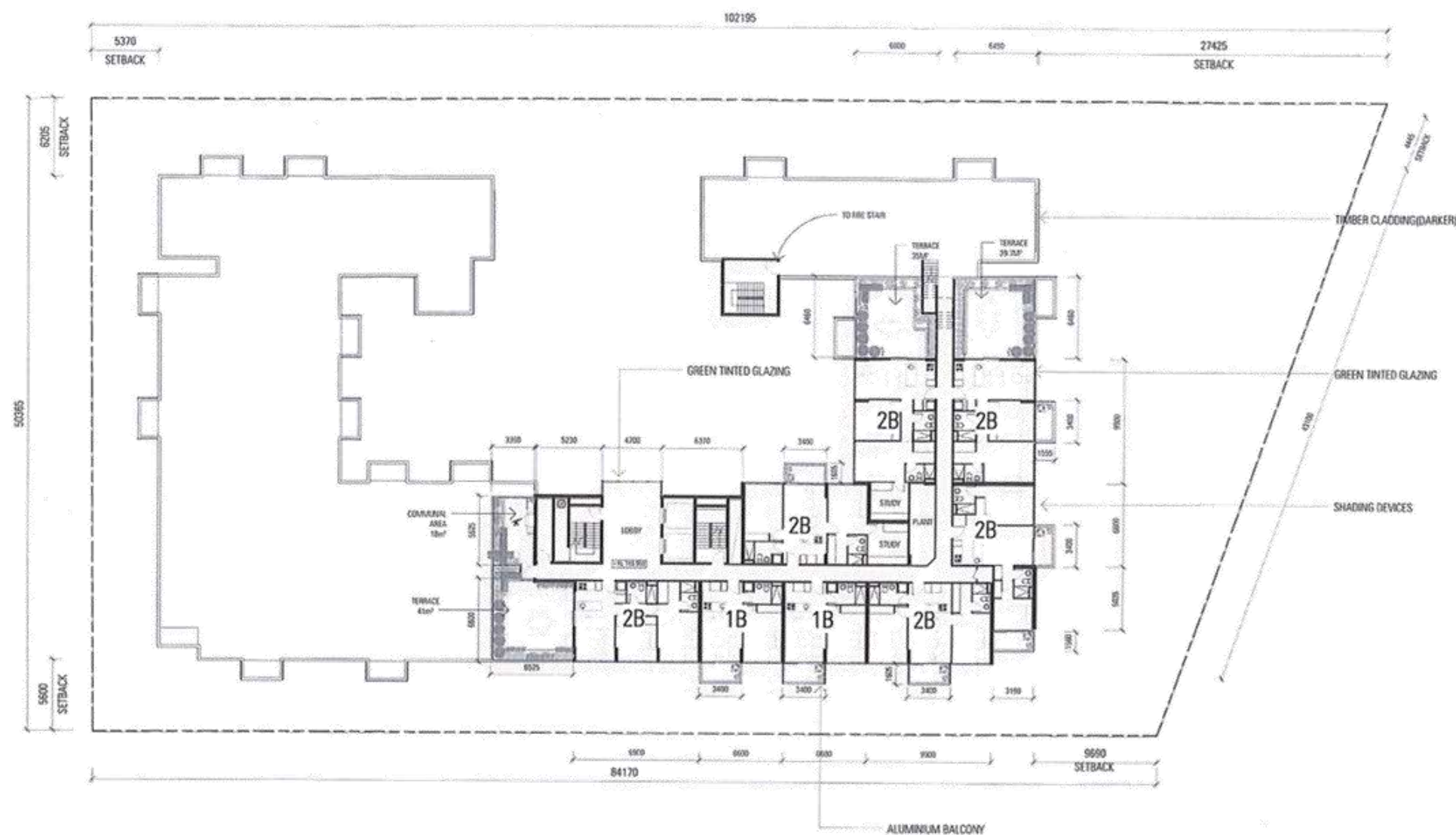
PROJECT NO. 1401

DECK GW

WITLESSA PLANNING SCHE  
Planning and Development Act 2007  
Fee referred to in the Planning Portal  
Appl No: 713504 Date: 11/2  
Date Paid: 23/7/13  
10/9/13

(Further plans req'd.)





NOTE:

이러한 사실은, 이념적 대립을 초월하여, 양측이 공동의 이익을 위하여 협력할 수 있는 여지를 열어놓는다. 그러나, 양측의 대립이 계속될수록, 양측의 이해관계는 갈수록 멀어진다. 양측의 대립이 계속될수록, 양측의 이해관계는 갈수록 멀어진다. 양측의 대립이 계속될수록, 양측의 이해관계는 갈수록 멀어진다.

## AMENDMENTS

REV.	DATE	DESCRIPTION	DRAWN
0	06/05/01	CANCA RETURNED TO	DE

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## PROJECTS

719 HIGH STREET

**DRAWING**

LEVEL 10 FLOOR PLAN

## ARCHITECT

**i.wolf**

DATE 09/09/14

05

SCALE 1 : 200

PROJECT NO. 14010

CHECK GW

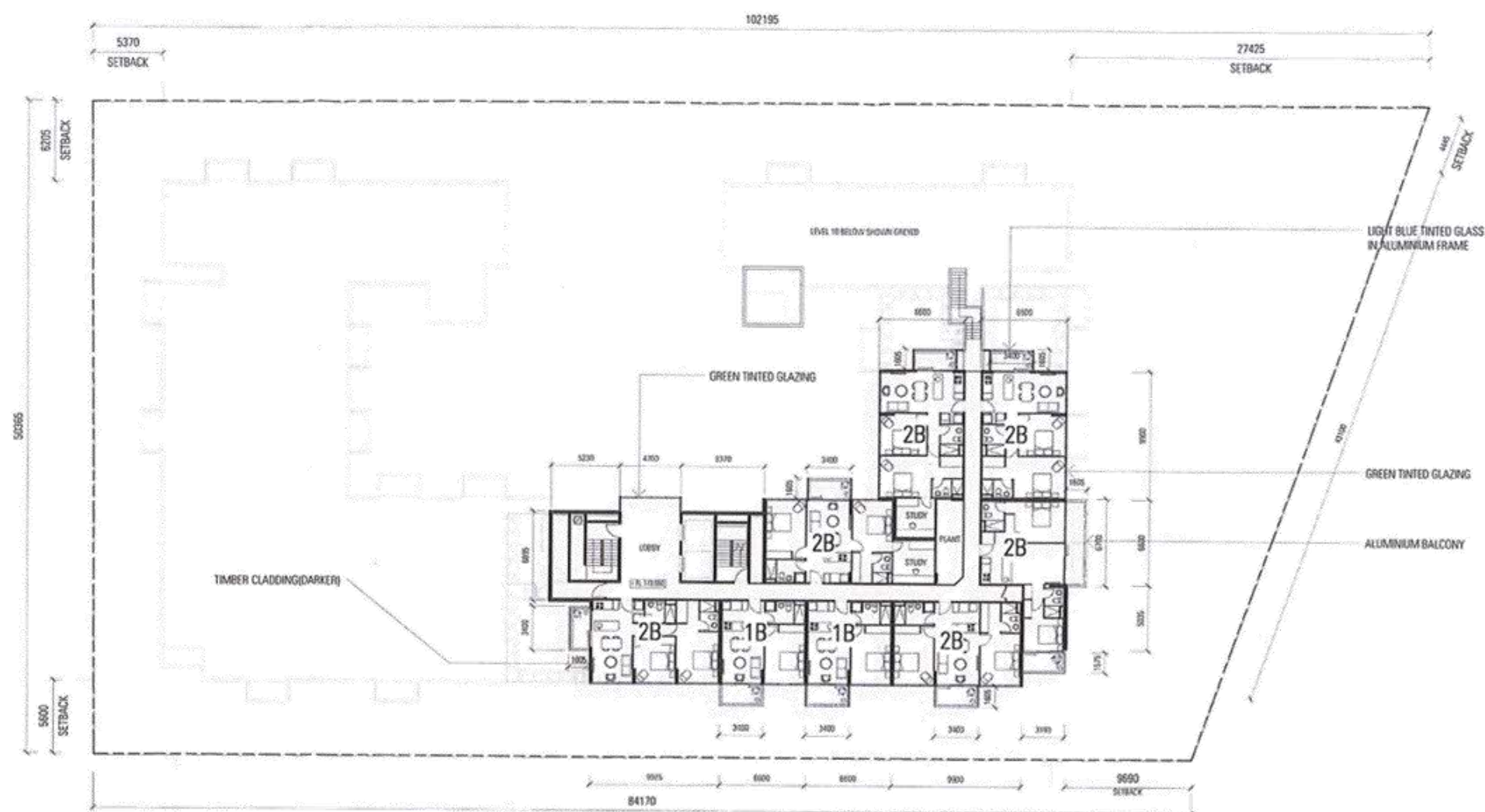
**WHITTLESZA PLANNING SCHEME**  
Planning and Enforcement Act 1987  
Plan referred to in the Planning Permit

Permit No. 713509 Date 12 of 21

Date Permit issued 23/9/13

11.11 10/9/14

(Further plans req'd.)



NOTE:

1. **Introduction** (10%)  
The purpose of this assignment is to evaluate your understanding of the concepts of the course and your ability to apply them to a real-world scenario. You are required to write a report of no more than 1000 words.

2. **Task Description** (10%)  
You are given a set of data representing the performance of a system over time. The data is as follows:

Time (hours)	Performance (units/hour)
0	10
1	15
2	20
3	25
4	30
5	35
6	40
7	45
8	50
9	55
10	60
11	65
12	70
13	75
14	80
15	85
16	90
17	95
18	100
19	105
20	110
21	115
22	120
23	125
24	130

3. **Questions** (80%)  
Answer the following questions based on the data provided. Your answers should be supported by calculations and clear reasoning.

- Calculate the average performance of the system over the 24-hour period. (5%)
- Calculate the standard deviation of the performance data. (5%)
- Calculate the coefficient of variation of the performance data. (5%)
- Calculate the correlation coefficient between time and performance. (5%)
- Calculate the regression line of performance against time. (5%)
- Calculate the predicted performance of the system at 25 hours. (5%)
- Calculate the predicted performance of the system at 0 hours. (5%)
- Calculate the predicted performance of the system at 12 hours. (5%)
- Calculate the predicted performance of the system at 18 hours. (5%)
- Calculate the predicted performance of the system at 22 hours. (5%)
- Calculate the predicted performance of the system at 24 hours. (5%)
- Calculate the predicted performance of the system at 26 hours. (5%)
- Calculate the predicted performance of the system at 28 hours. (5%)
- Calculate the predicted performance of the system at 30 hours. (5%)
- Calculate the predicted performance of the system at 32 hours. (5%)
- Calculate the predicted performance of the system at 34 hours. (5%)
- Calculate the predicted performance of the system at 36 hours. (5%)
- Calculate the predicted performance of the system at 38 hours. (5%)
- Calculate the predicted performance of the system at 40 hours. (5%)
- Calculate the predicted performance of the system at 42 hours. (5%)
- Calculate the predicted performance of the system at 44 hours. (5%)
- Calculate the predicted performance of the system at 46 hours. (5%)
- Calculate the predicted performance of the system at 48 hours. (5%)
- Calculate the predicted performance of the system at 50 hours. (5%)
- Calculate the predicted performance of the system at 52 hours. (5%)
- Calculate the predicted performance of the system at 54 hours. (5%)
- Calculate the predicted performance of the system at 56 hours. (5%)
- Calculate the predicted performance of the system at 58 hours. (5%)
- Calculate the predicted performance of the system at 60 hours. (5%)
- Calculate the predicted performance of the system at 62 hours. (5%)
- Calculate the predicted performance of the system at 64 hours. (5%)
- Calculate the predicted performance of the system at 66 hours. (5%)
- Calculate the predicted performance of the system at 68 hours. (5%)
- Calculate the predicted performance of the system at 70 hours. (5%)
- Calculate the predicted performance of the system at 72 hours. (5%)
- Calculate the predicted performance of the system at 74 hours. (5%)
- Calculate the predicted performance of the system at 76 hours. (5%)
- Calculate the predicted performance of the system at 78 hours. (5%)
- Calculate the predicted performance of the system at 80 hours. (5%)
- Calculate the predicted performance of the system at 82 hours. (5%)
- Calculate the predicted performance of the system at 84 hours. (5%)
- Calculate the predicted performance of the system at 86 hours. (5%)
- Calculate the predicted performance of the system at 88 hours. (5%)
- Calculate the predicted performance of the system at 90 hours. (5%)
- Calculate the predicted performance of the system at 92 hours. (5%)
- Calculate the predicted performance of the system at 94 hours. (5%)
- Calculate the predicted performance of the system at 96 hours. (5%)
- Calculate the predicted performance of the system at 98 hours. (5%)
- Calculate the predicted performance of the system at 100 hours. (5%)

## AMENDMENTS

REV.	DATE	DESCRIPTION	DRAWN
1	09/05/2014	CONTRACT RESUBMISSION	DE

NOTE

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PELLIGRA GROUP

PROJECTS


719 HIGH STREET

DRAWING

LEVEL 11 FLOOR PLAN

ARCHITECT

**wolf**  
WOLFF & WOLFF  
205-88 COXLINE ST. DOCKLANDS VIC 3084 AUSTRALIA  
PHONE 03 9776 DOCKLANDS VIC 3084 AUSTRALIA  
484 812 5840  
WWW.WOLFF.COM.AU  
BINDER@WOLFF.COM.AU

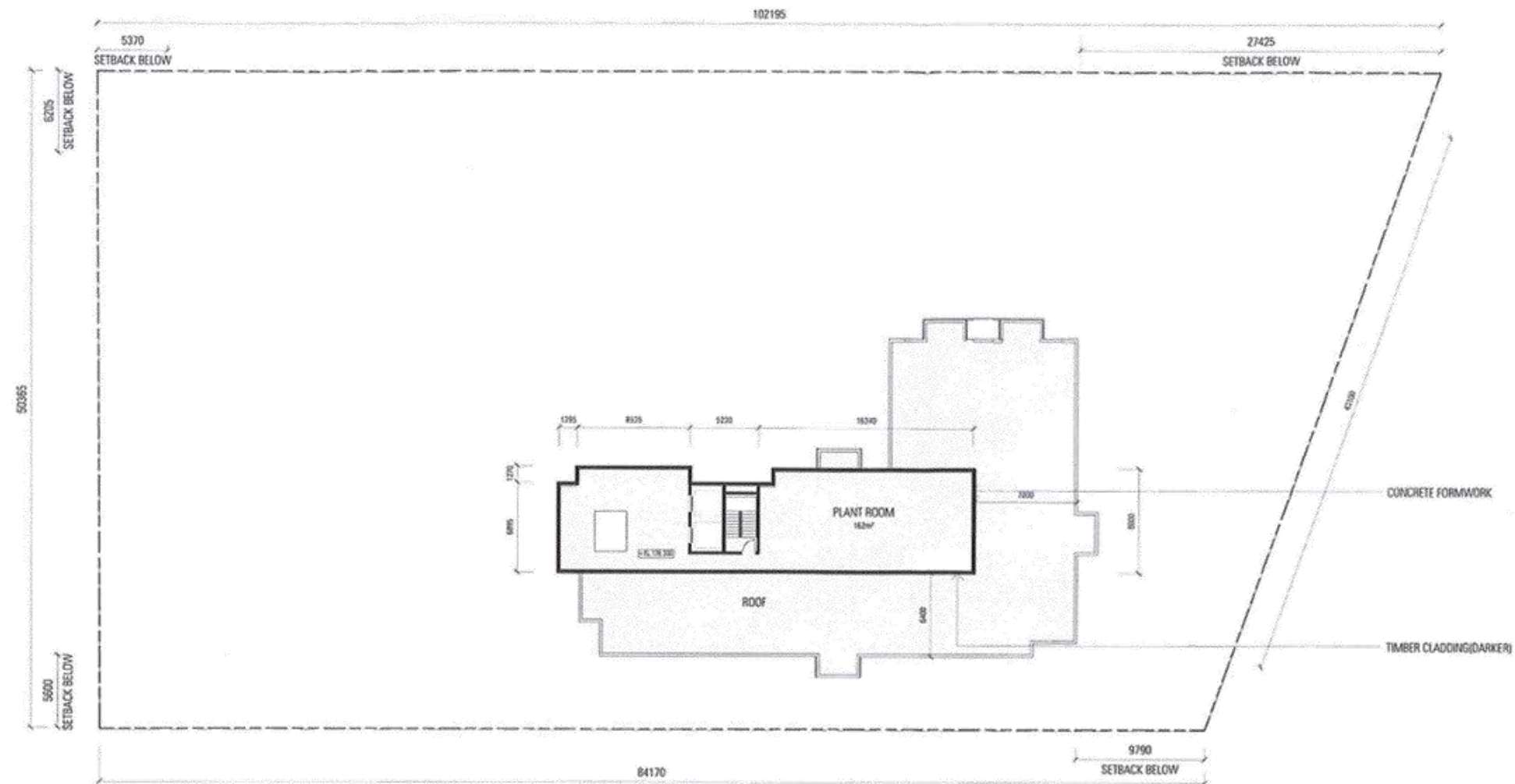


DATE	09/09/14
DRAWN	DS
SCALE	1:200
PROJECTING	14010
CHECK	GW

WRITTLESEA PLANNING SCHEME  
Planning and Environment Act 1987  
Plan referred to in the Planning Notice

Project No.	713509	Draw No.	13	of	2
Call Point (m)	23/9/13				
Surveyed by	10/9/13				

(Further plans req'd)



NOTE:

[illegible]

## AMENDMENTS

REV.	DATE	DESCRIPTION	DRAW
0	04-03-2014	COUNCIL RE-APPOINTMENT	05

NOTE

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PELLIGRA GROUP

## PROJECTS

719 HIGH STREET

**DRAINING**

LEVEL 12 FLOOR PLAN

## ARCHITECT

**WOLFF**  
2/151 COLLINS ST DOCKLANDS VIC 3202 AUSTRALIA  
PHONE 2192 DOCKLANDS VIC 3202 AUSTRALIA  
41 412 84 801  
WWW.WOLFF.COM.AU  
INNOVATION@WOLFF.COM.AU

MELBOURNE	SYDNEY	PERTH
MUNICH	STUTTGART	BERLIN

DATE 09/09/14

**DISKON** **D5**

SCALE 1 : 200

PROJECT NO. 14010

**Check**      **GW**

DIAGRAMMER TP-2112 REV. 8

WHITLESEA PLANNING SCHEME  
Planning and Environment Act 1987  
Plan referred to in the Planning Permit

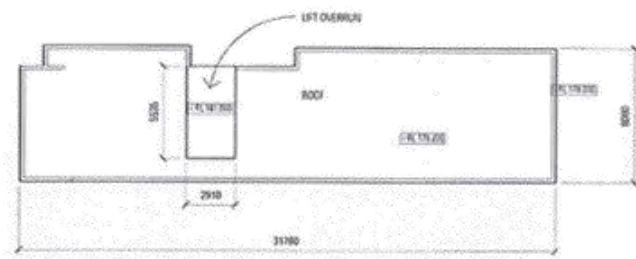
Project No. 713509 Date 14/2/13

Call Permit No. 23/9/13

10/9/14

(Further plans req'd.)





## AMENDMENTS

REV.	DATE	DESCRIPTION	DRAWN
#	DISPOSAL	COUNCIL REFUNDATION	OK

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PROJECTS

719 HIGH STREET

DRAWING

## TOP LEVEL PLAN

ARCHITECT

200 HOLLIS ST, DOONAN, VIC 3202, AUSTRALIA  
PO BOX 2016 DOONAN, VIC 3202, AUSTRALIA  
41 412 836 831  
WWW.WOLFF.COM.AU  
INVESTING@WOLFF.COM.AU

DATE 09/09/14

**THIN** OS



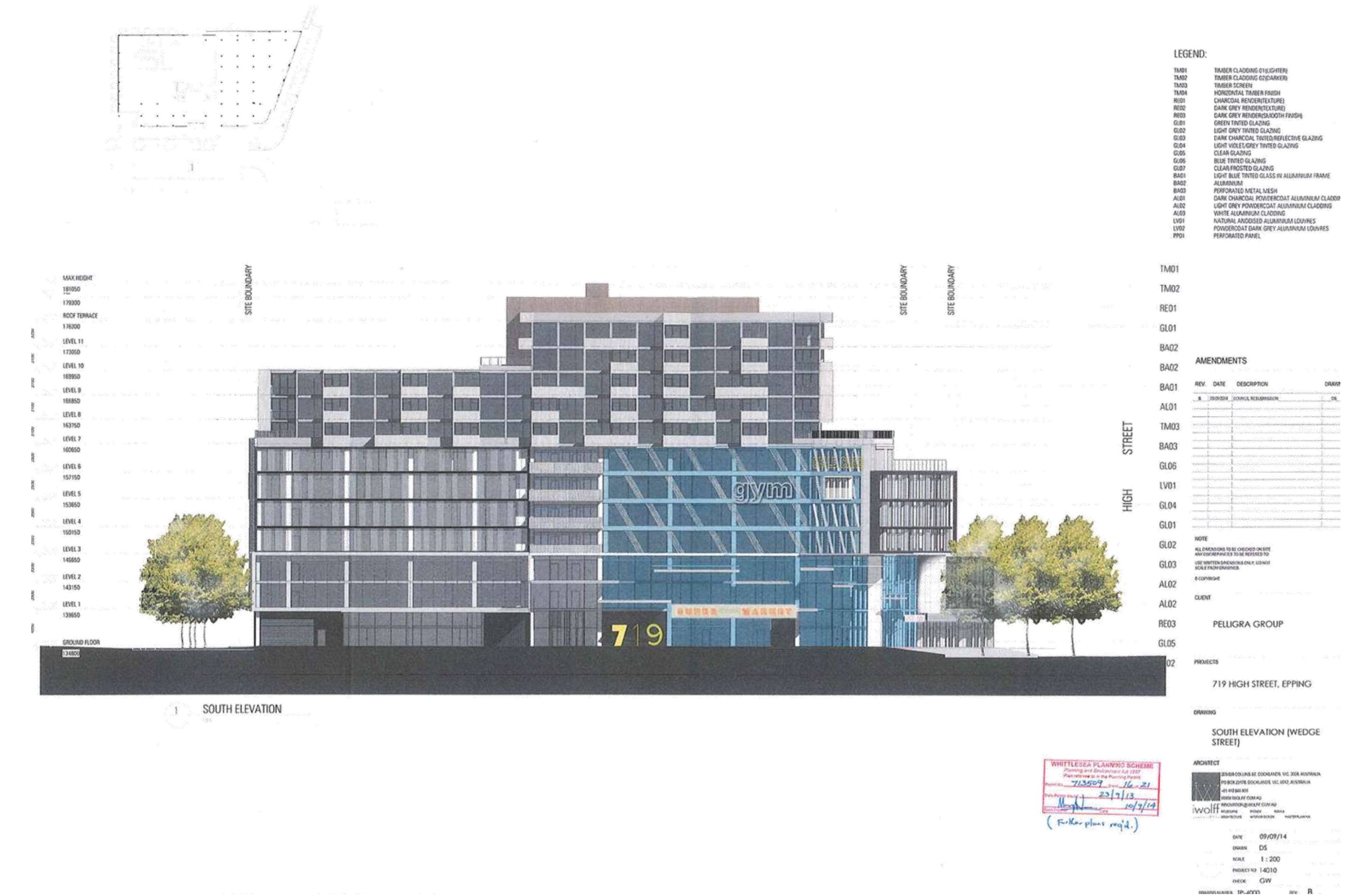
SCALE 1 : 200

 FBI LABORATORY  
PHOTO NO. 14010

ORDER GW

1. **наименование ИР.211А**

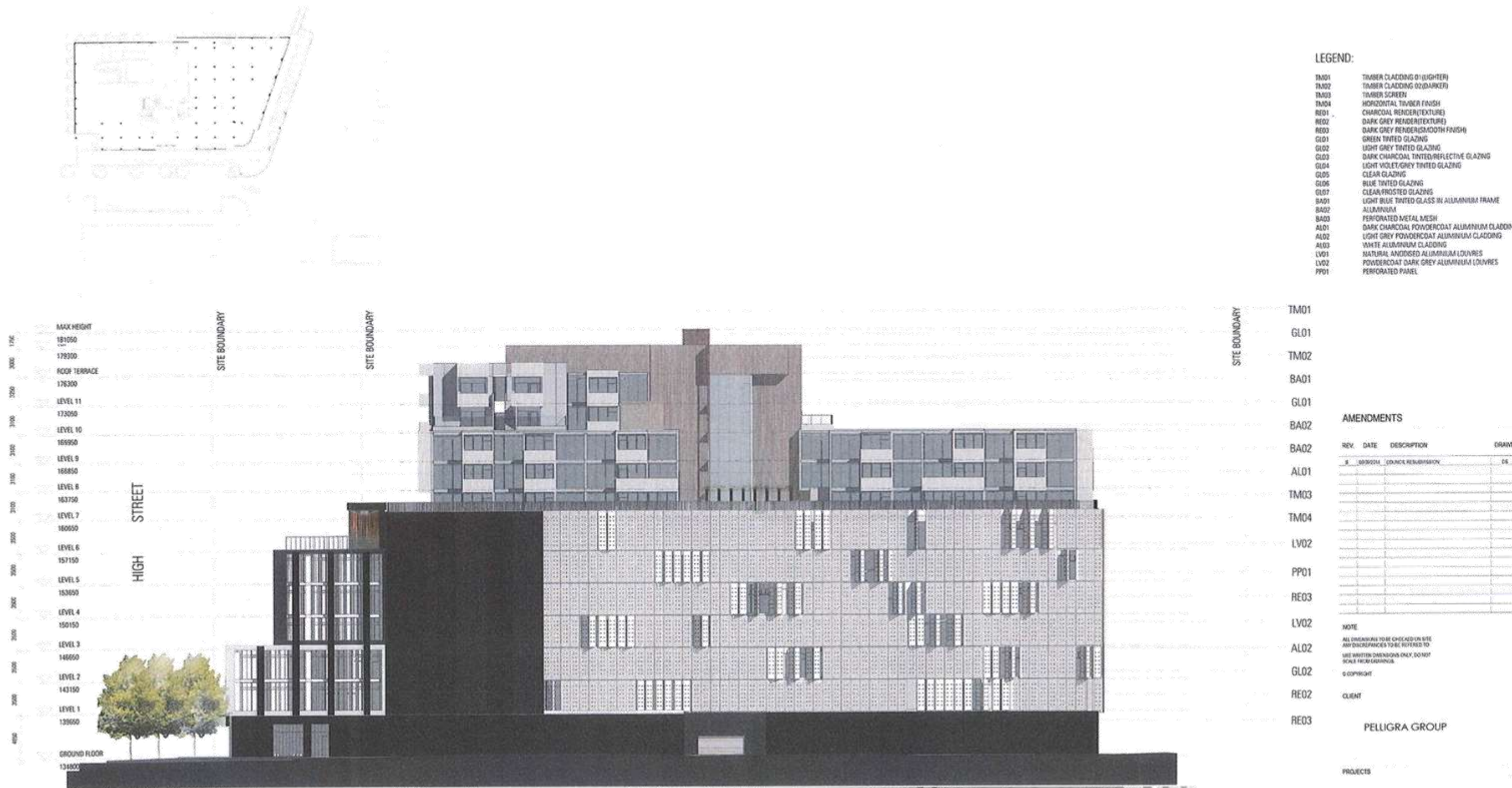
WASTELESS PLANNING SCHEM  
Planning and Environment Act 1987  
Plan referred to in the Planning Permit  
Project No. 713509 8-15-21  
Date Permit issued 23/9/13  
10/9/14  
(Further plans req'd.)











3 NORTH ELEVATION

WHITTLESEA PLANNING SCHEME  
Planning and Environment Act 1987  
Plan referred to in the Planning Permit  
Permit No: 713549 Issue: 18-21  
Date Permit Issued: 23/9/12  
Date Forfeited: 10/9/14  
(Further plans req'd.)




4 WEST ELEVATION

WHITLESEA PLANNING SCHEME  
Planning and Environment Act 1987  
Plan submitted to the Planning Panel  
Number: 713509 Date: 19/2/13  
Date of the meeting: 23/9/13  
19/9/13

(Further plans req'd.)

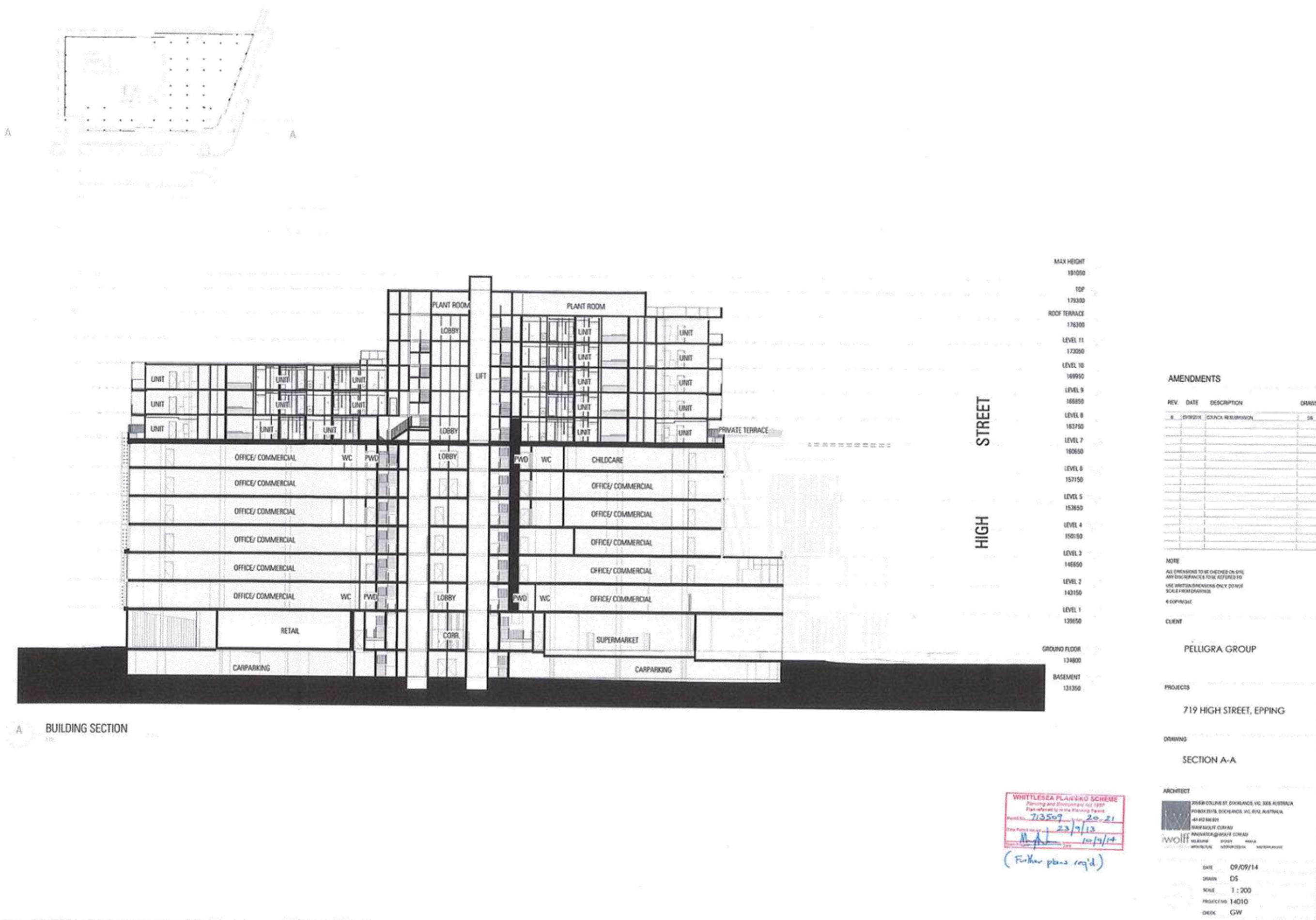
**ARCHITECT**

 255 KING COLLINS ST, DOCKLANDS, VIC, 3008, AUSTRALIA  
PO BOX 2135, DOCKLANDS, VIC, 3002, AUSTRALIA  
+61 3 432 881 339  
WWW.IWOLFF.COM.AU  
iwolf

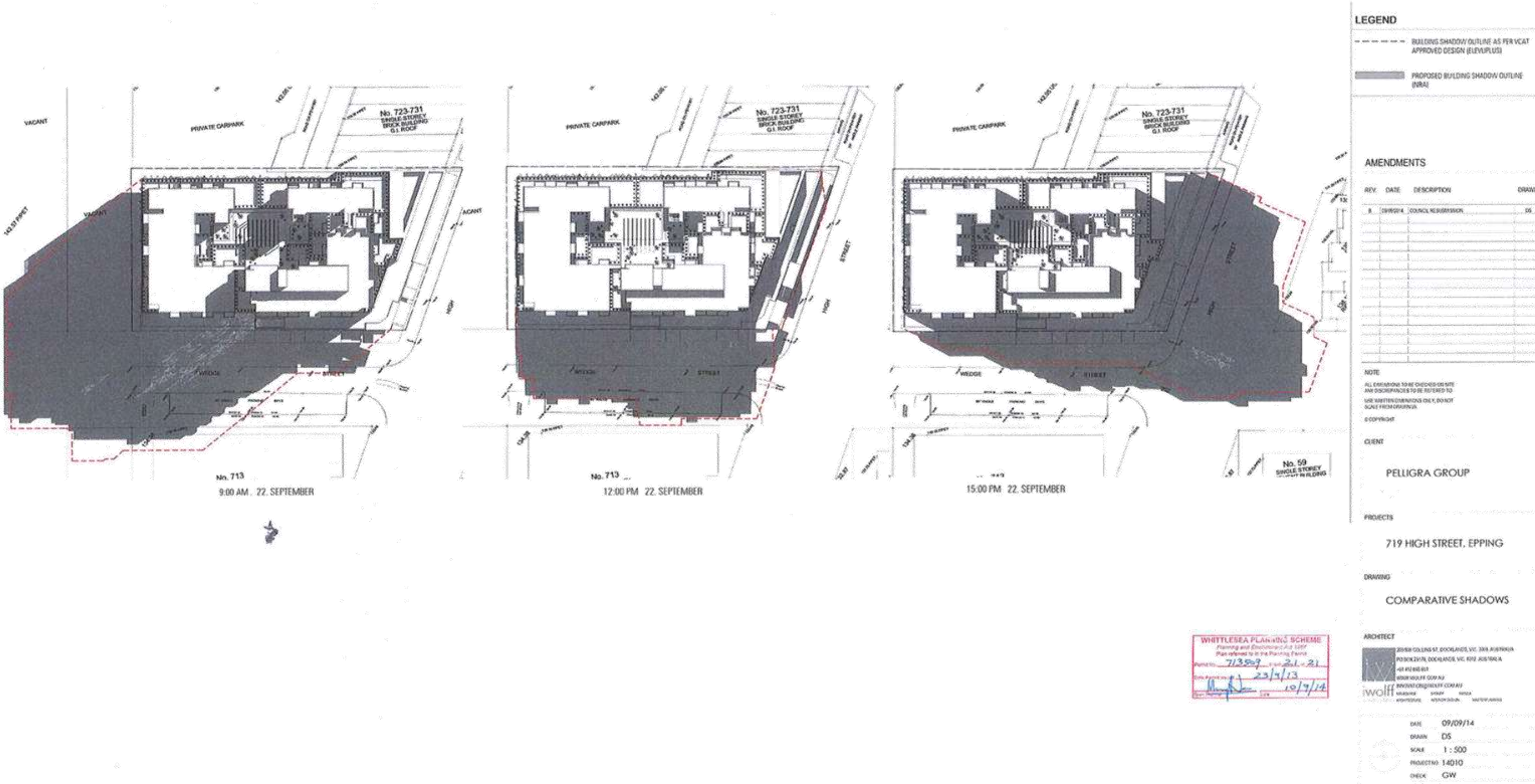
BRISBANE    PERTH    SYDNEY  
MELBOURNE    JACKSONVILLE    AUSTIN/DAKOTA

DATE 09/09/14  
DRAWN DS  
SCALE 1:200  
PROJECT NO 14Q10  
CHECK GW













**City of  
Whittlesea**

**ESTABLISHED AREAS PLANNING REPORT**



## PLANNING APPLICATION NO. 712422



Subject Land

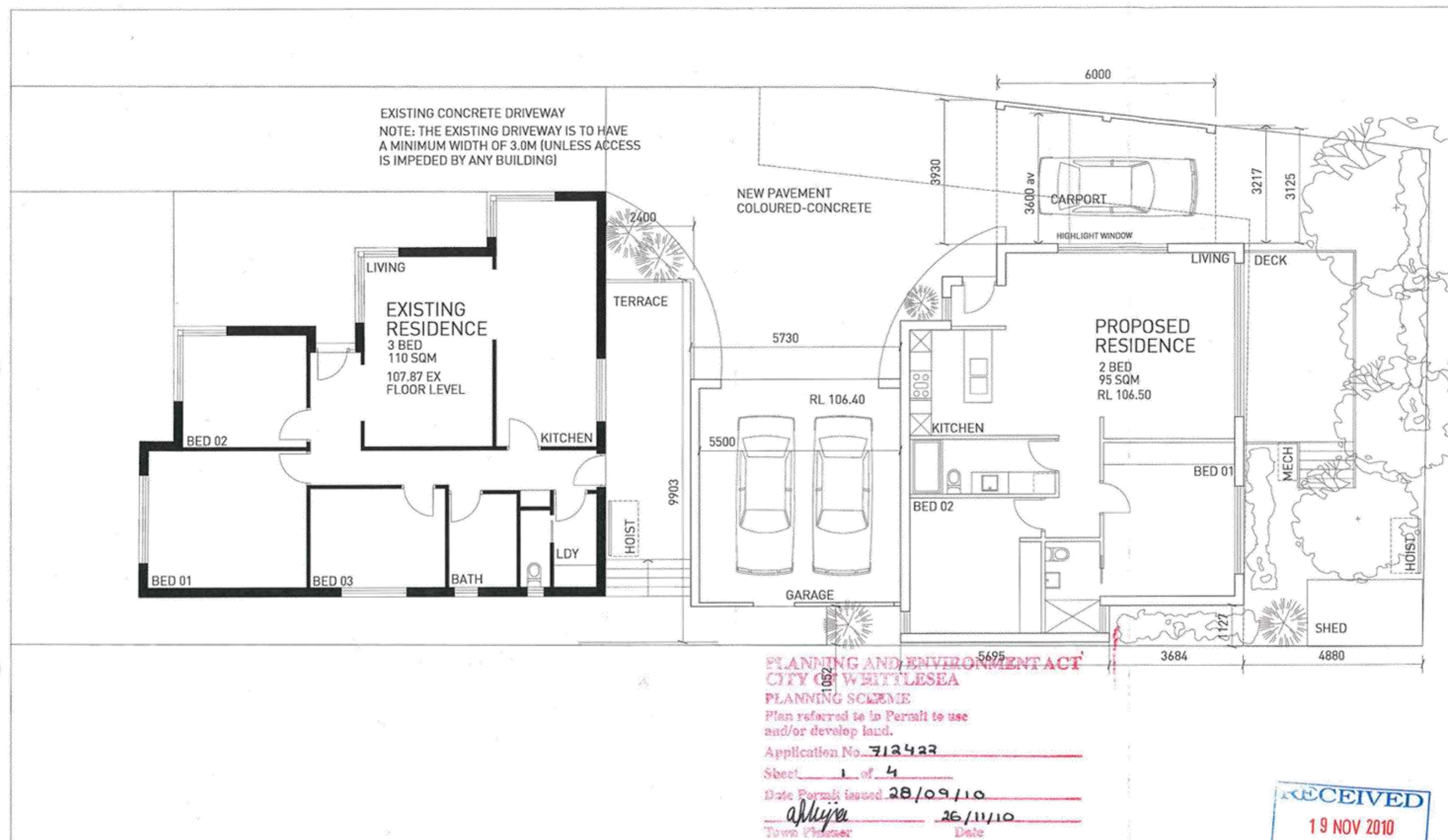


Medium Density Housing

City of  
Whittlesea

ESTABLISHED AREAS PLANNING REPORT





METAXAS ARCHITECTS Pty Ltd ABN 180 791 78626  
152 Queensberry Street Carlton VIC Australia 3053  
Email mail@metaxasarch.com Web metaxasarch.com  
Telephone 03\_9349 5344 Facsimile 03\_9349 1733



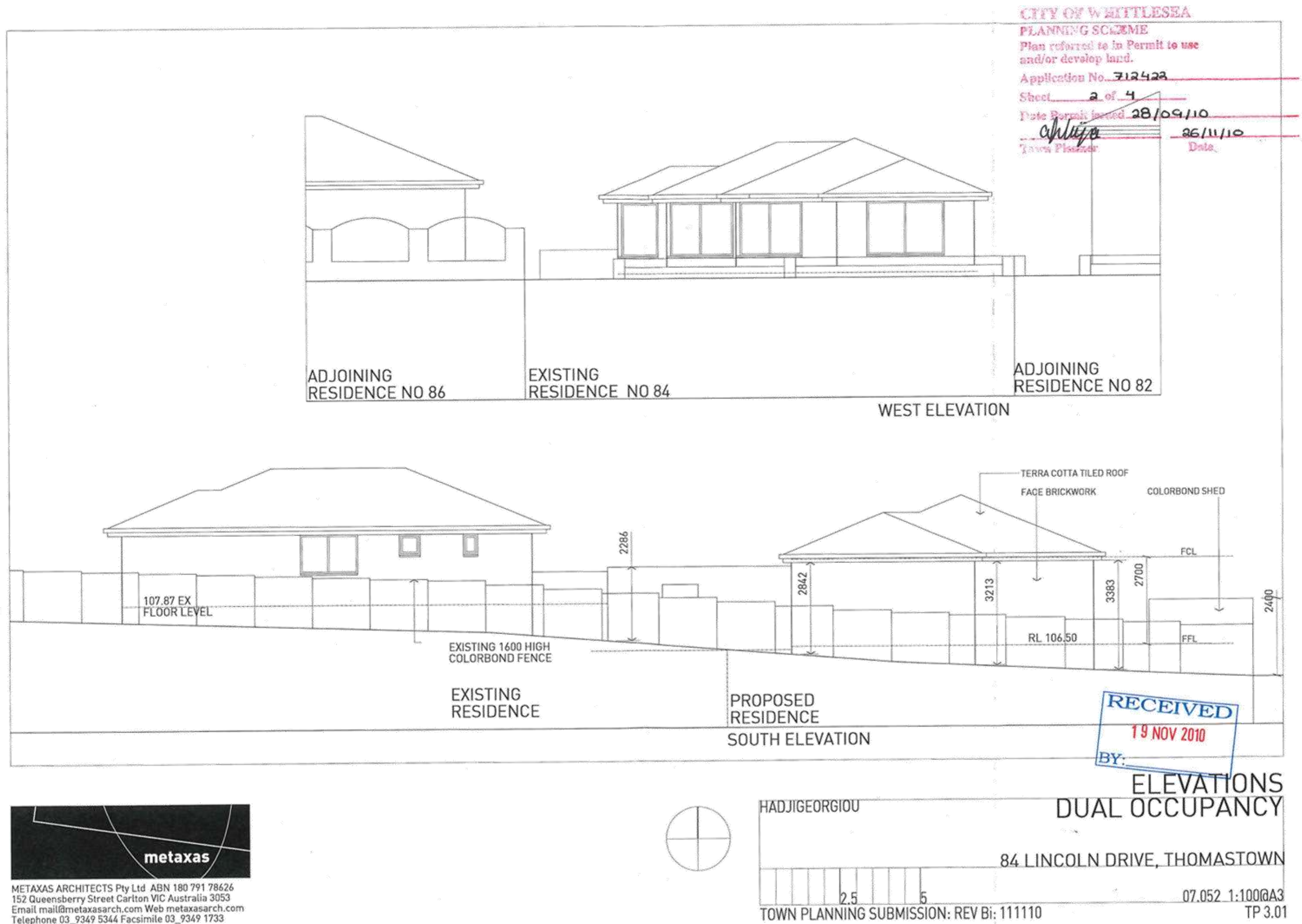
HADJIGEORGIOU

**GROUND FLOOR PLAN**  
**DUAL OCCUPANCY**

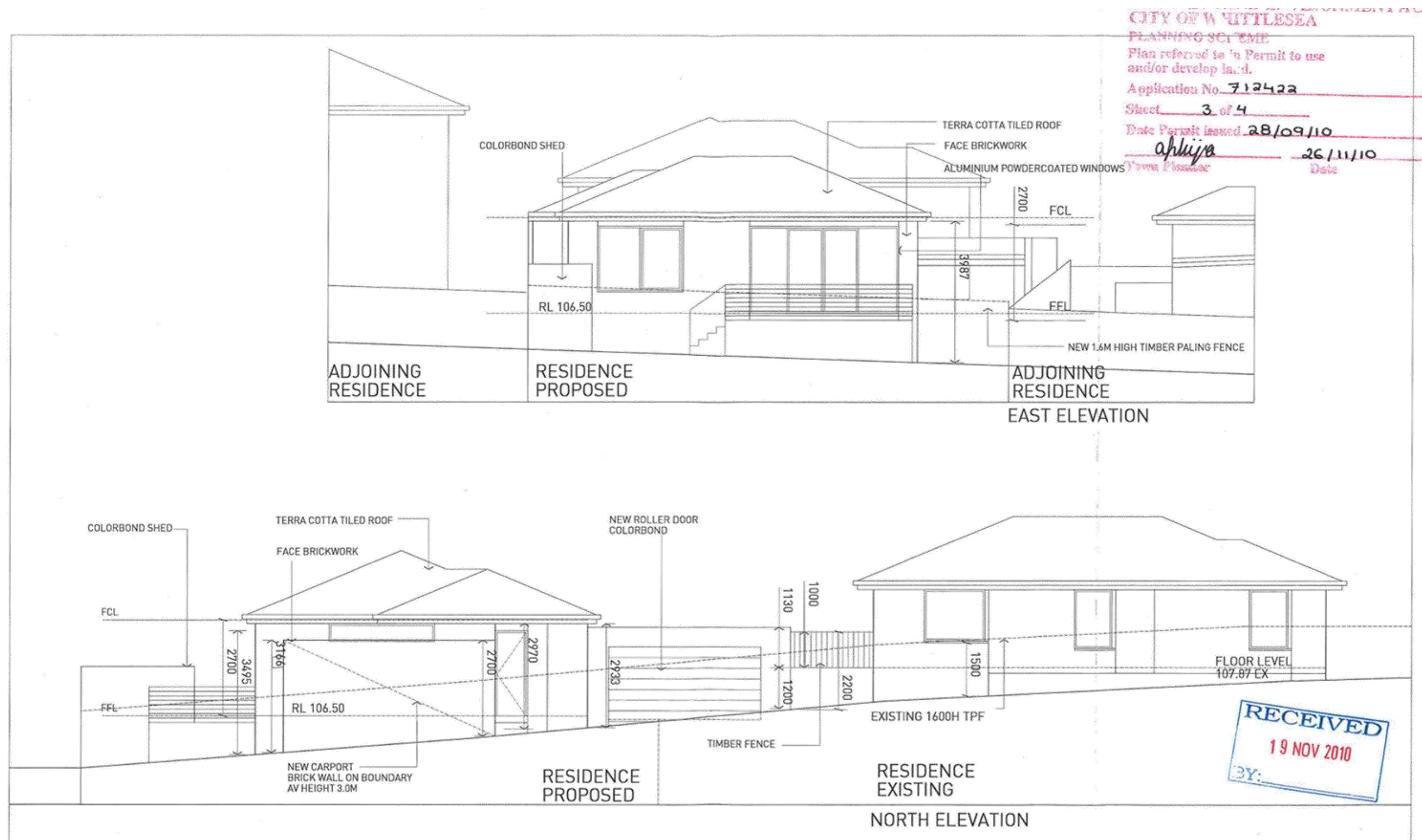
84 LINCOLN DRIVE, THOMASTOWN

TOWN PLANNING SUBMISSION: REV Bi: 111110

07.052 1:100@A3  
TP 2.01







METAXAS ARCHITECTS Pty Ltd ABN 180 791 78626  
 152 Queensberry Street Carlton VIC Australia 3053  
 Email mail@metaxasarch.com Web metaxasarch.com  
 Telephone 03\_9349 5344 Facsimile 03\_9349 1733



HADJIGEORGIOU

**ELEVATIONS**  
**DUAL OCCUPANCY**

84 LINCOLN DRIVE, THOMASTOWN

2.5 5  
 TOWN PLANNING SUBMISSION: REV B; 111110

07.052 1:100@A3  
 TP 3.02










## PLANNING APPLICATION NO. 716015

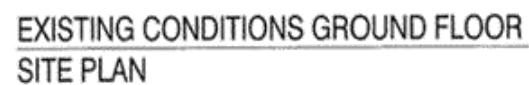


-  Subject Land
-  Objector
-  Medium Density Housing



City of  
Whittlesea

ESTABLISHED AREAS PLANNING REPORT



PROPOSED UNIT DEVELOPMENT  
AT No 35 CUTHBERT DRIVE  
MILL PARK  
FOR DIMCE & MELISSA UJGUNOVSKI

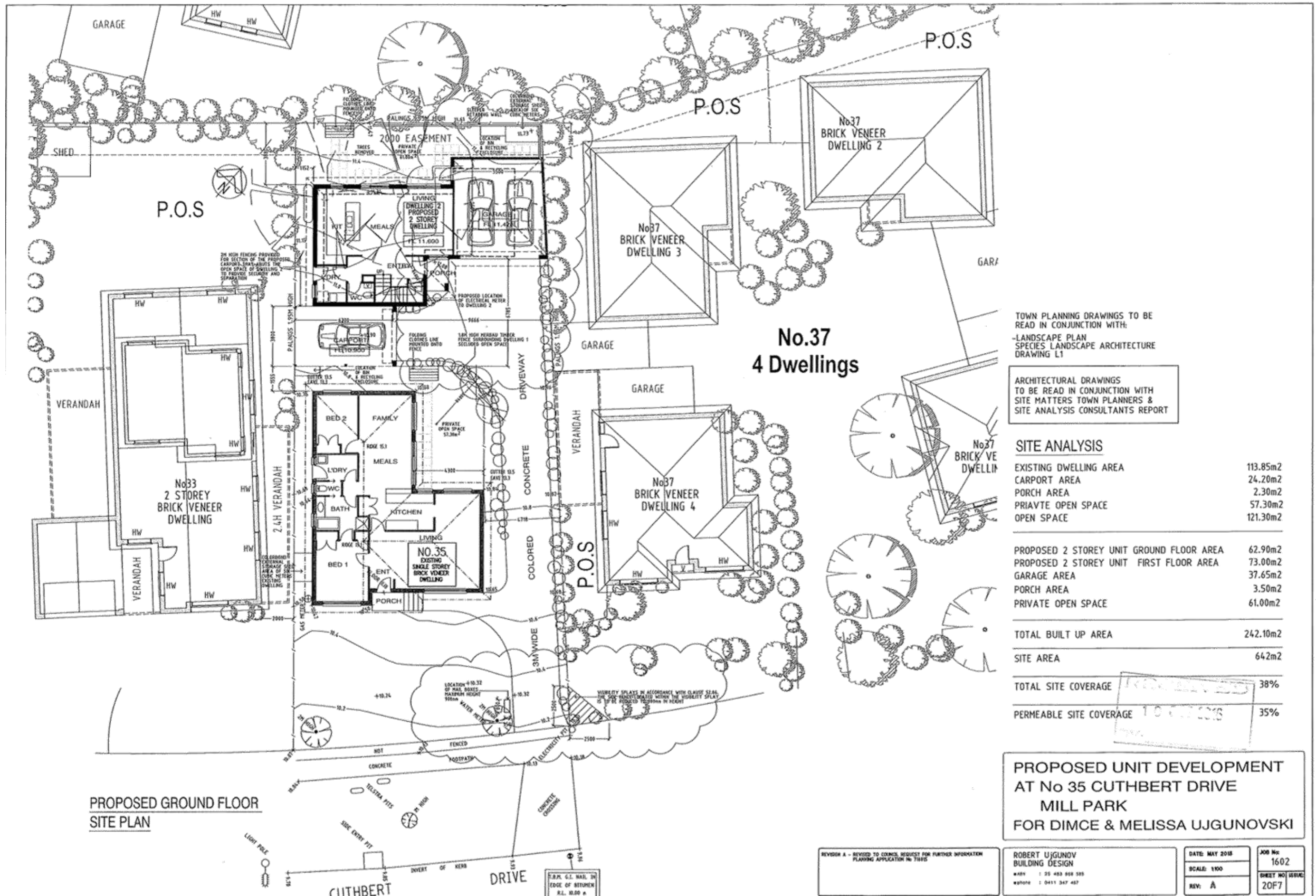
REVISION A - REVISED TO COUNCIL, REQUEST FOR FURTHER INFORMATION  
PLANNING APPLICATION No. T2015

**ROBERT UJGUNOV**  
BUILDING DESIGN  
• A/E/C : 25 493 868 541  
• phone : 0411 347 487

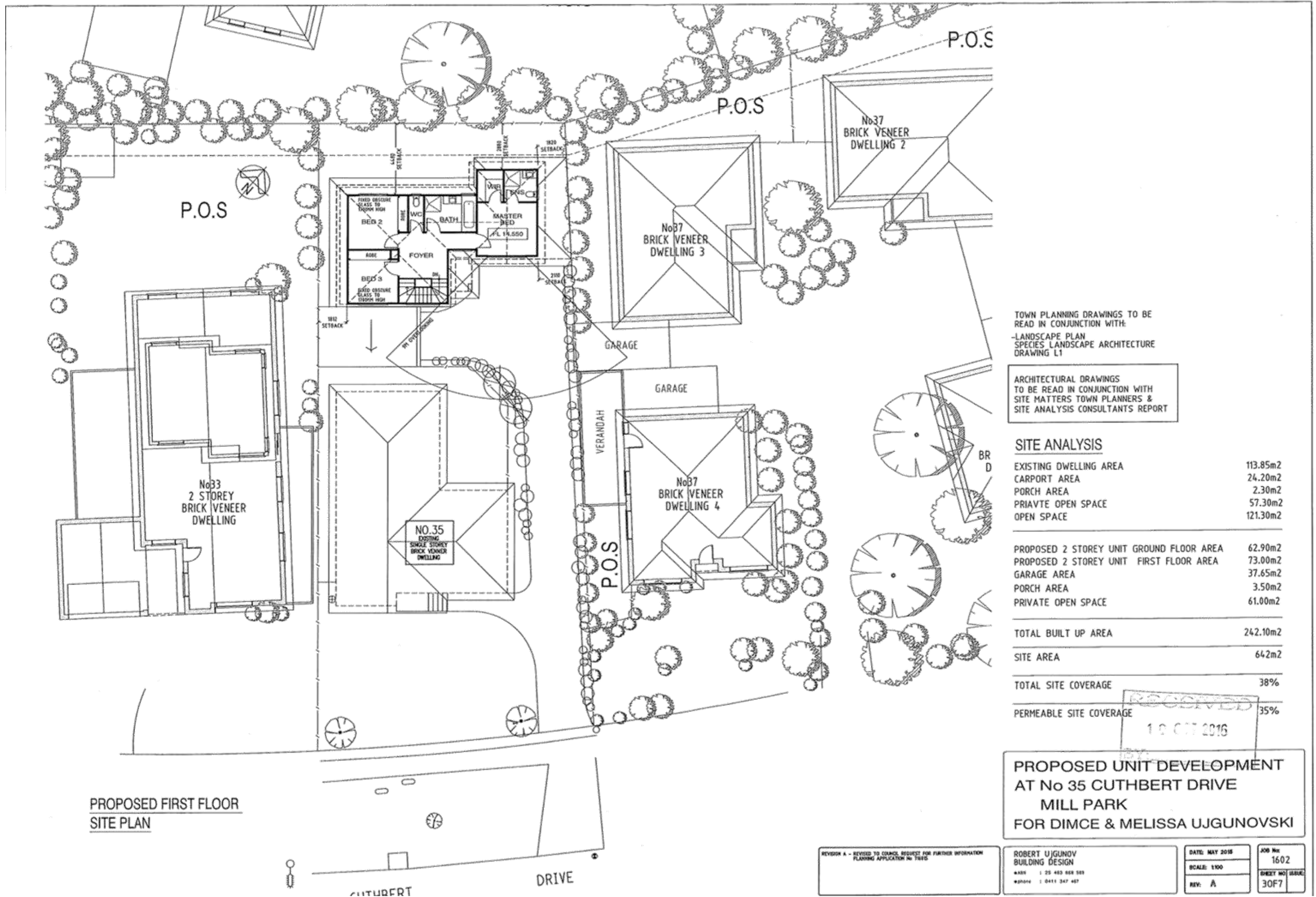
DATE: MAY 2015  
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REV: 1

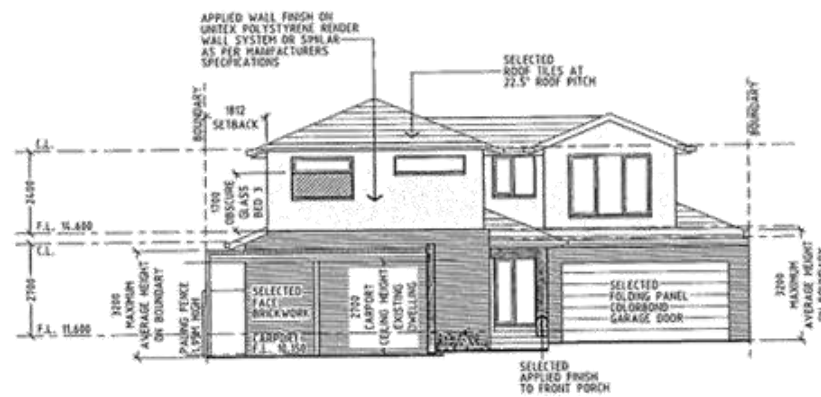
JOB NO:	1602
SHEET NO	10E7



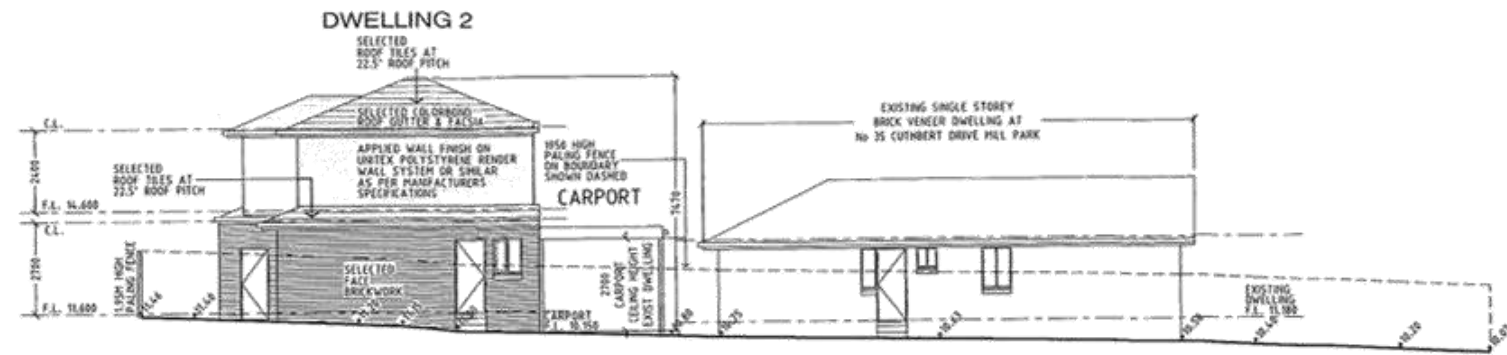




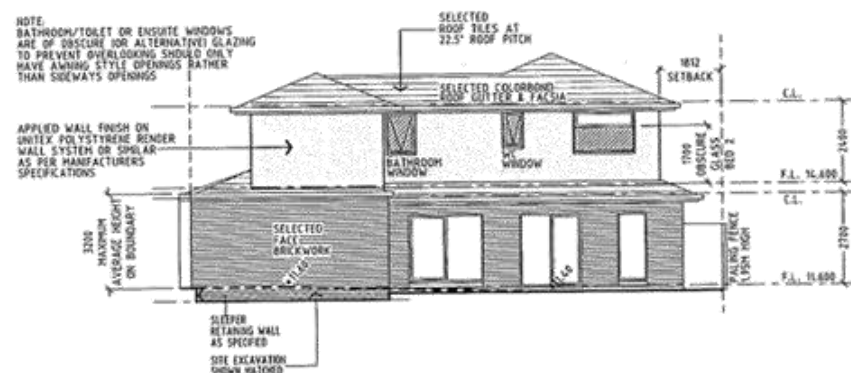




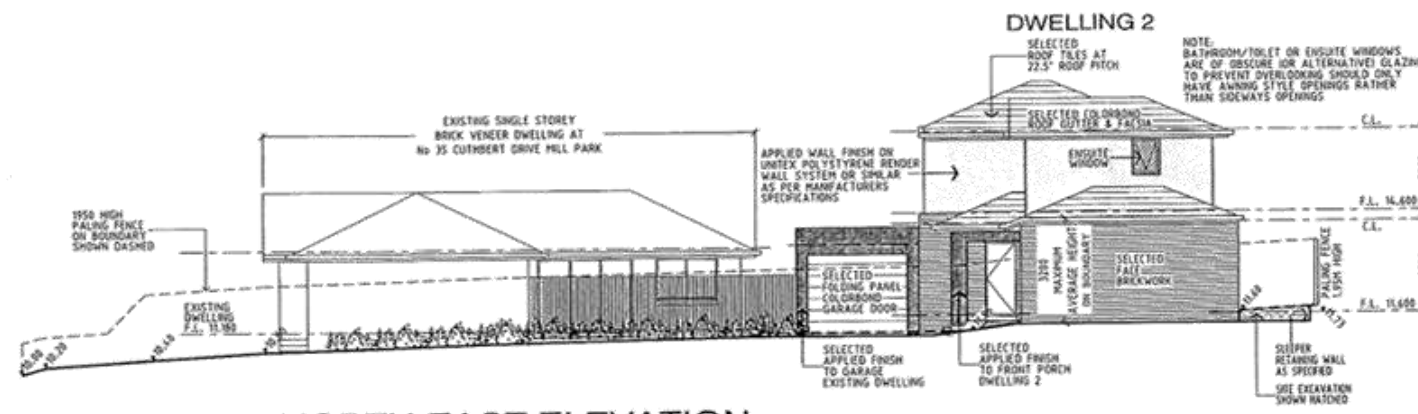
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DWELLING 2**  
SCALE 1:100



**SOUTH WEST ELEVATION  
EXISTING DWELLING & DWELLING 2**  
SCALE 1:100



**NORTH WEST ELEVATION  
DWELLING 2**  
SCALE 1:100



**NORTH EAST ELEVATION  
EXISTING DWELLING & DWELLING 2**  
SCALE 1:100



**SOUTH EAST ELEVATION  
EXIST DWELLING**  
SCALE 1:100



**NORTH WEST ELEVATION  
EXIST DWELLING**  
SCALE 1:100

19 SEP 2016

**PROPOSED UNIT DEVELOPMENT  
AT No 35 CUTHBERT DRIVE  
MILL PARK  
FOR DIMCE & MELISSA UJGUNOVSKI**

REVISION A - REVISED TO COUNCIL REQUEST FOR FURTHER INFORMATION  
PLANNING APPLICATION No 71895

**ROBERT UJGUNOV  
BUILDING DESIGN**  
• ARN : 25 483 868 589  
• phone : 0411 347 457

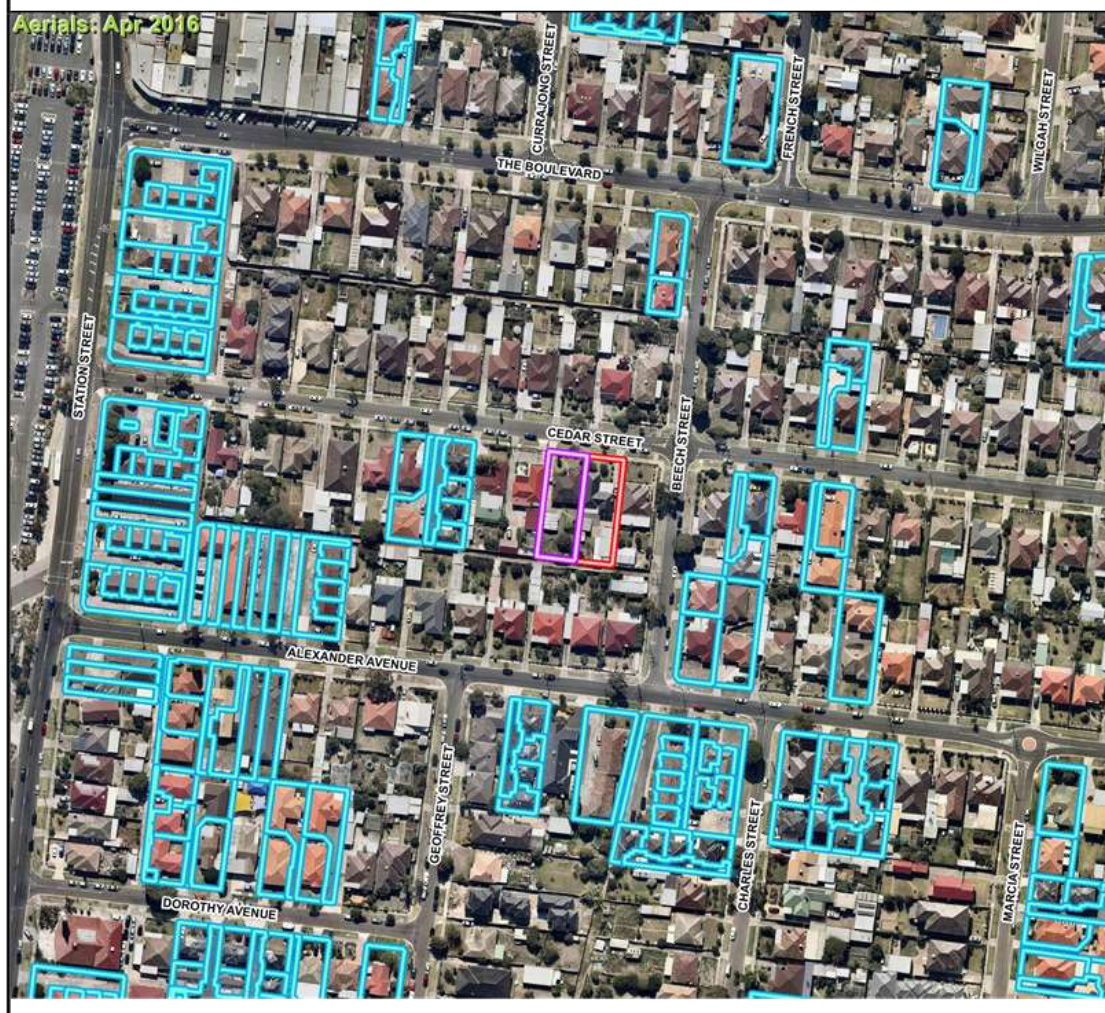
DATE: MAY 2015  
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JOB No:  
1602  
SHEET NO: 1554  
4 OF 7





## PLANNING APPLICATION NO. 715980

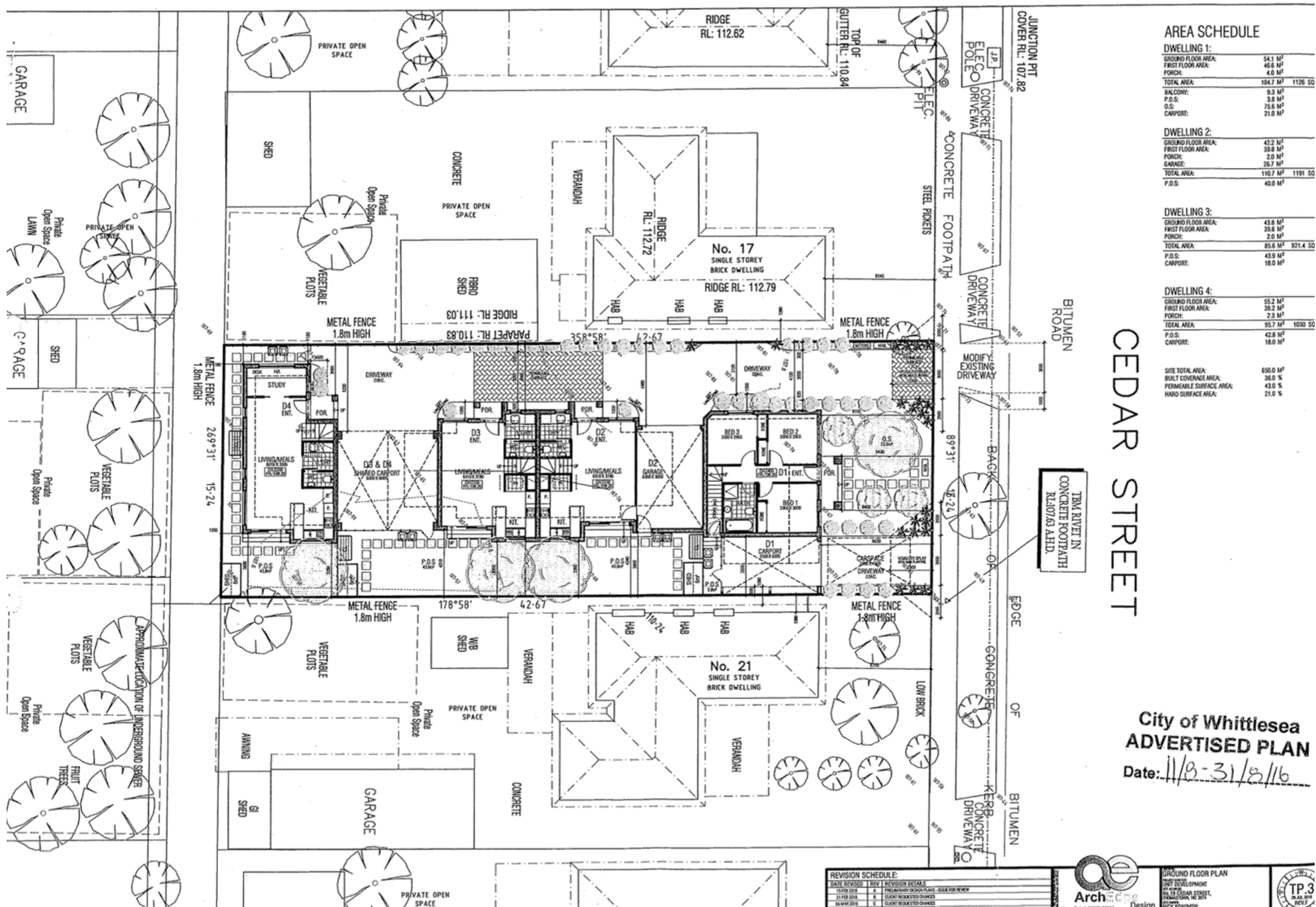


-  Subject Land
-  Objector
-  Medium Density Housing

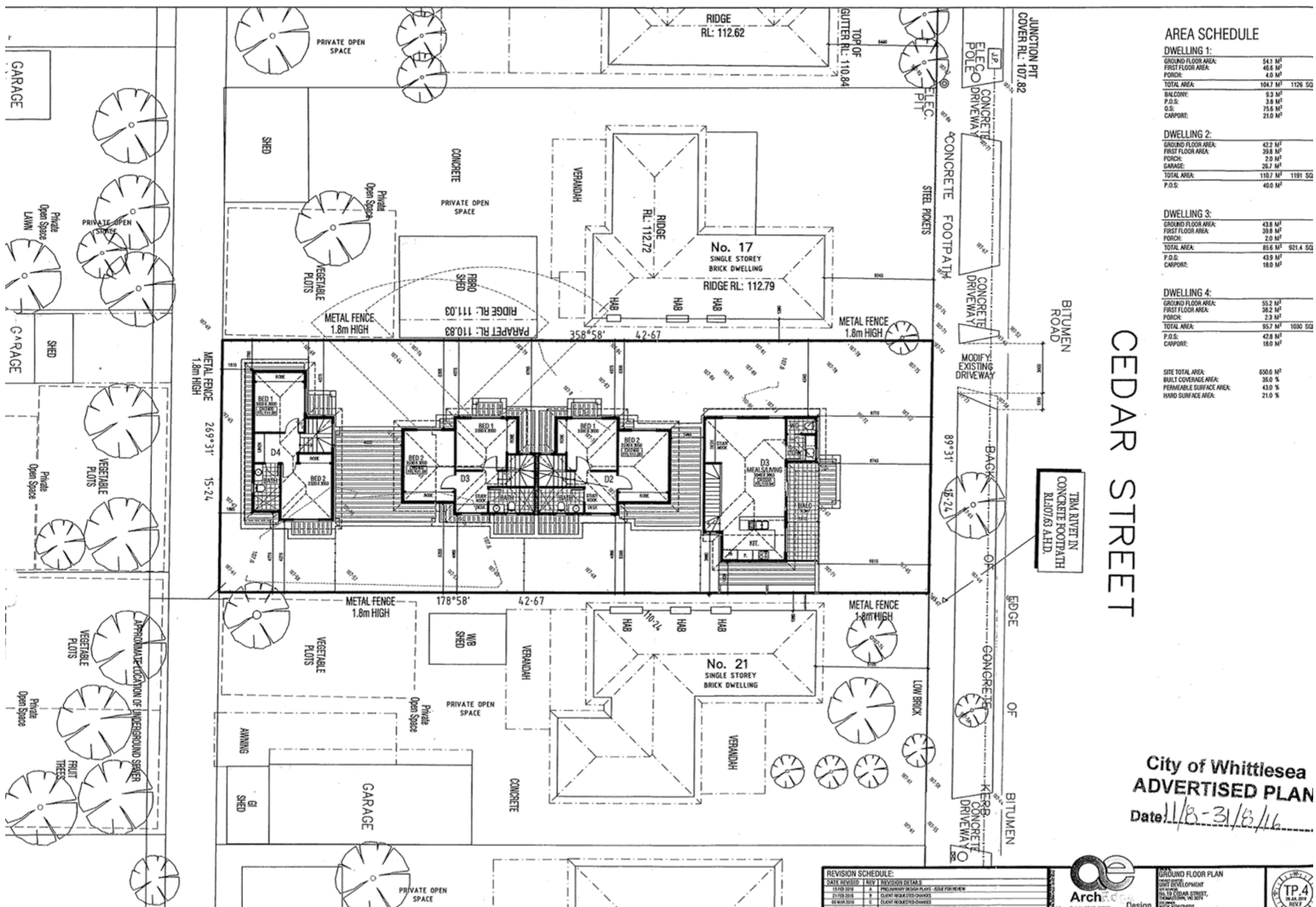


City of  
Whittlesea

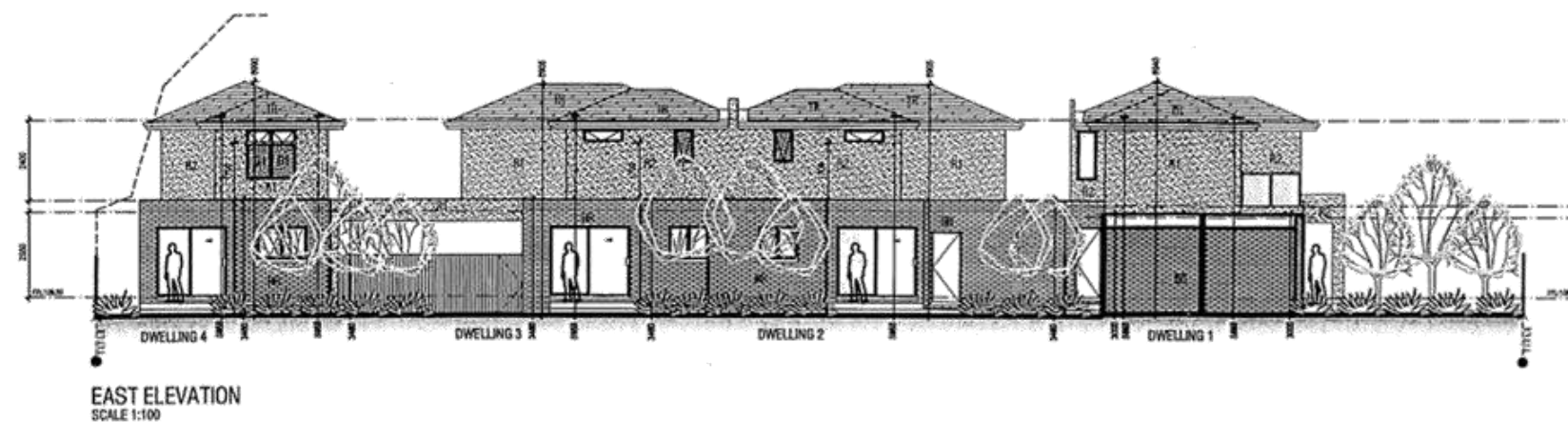
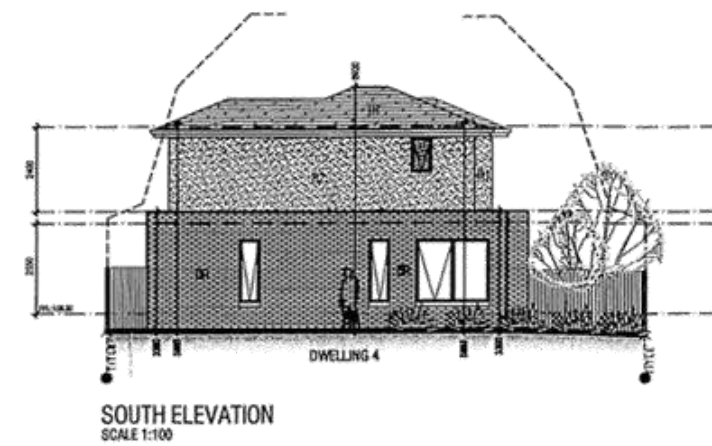
ESTABLISHED AREAS PLANNING REPORT











## MATERIAL SCHEDULE:

	BR	FACE BRICKWORK AUSTRALIAN - REDDISH TONE
	GF	WINDOW FRAMES ALUMINIUM - TONE
	GL	FIXED GLAZING TRANSPARENT OR OPAQUE
	TR	TILE ROOFING PICKED AT 1/2" PITCH
	R1	CEMENT RENDER SMOOTH FINISH
	R2	CEMENT RENDER SMOOTH FINISH
	GD	GARAGE DOOR COLORADO - BLACK & WHITE FASCIA, GUTTER & DOWNPIPES BLACK & WHITE

City of Whittlesea  
ADVERTISED PLAN

Date: 11/8-31/8/16

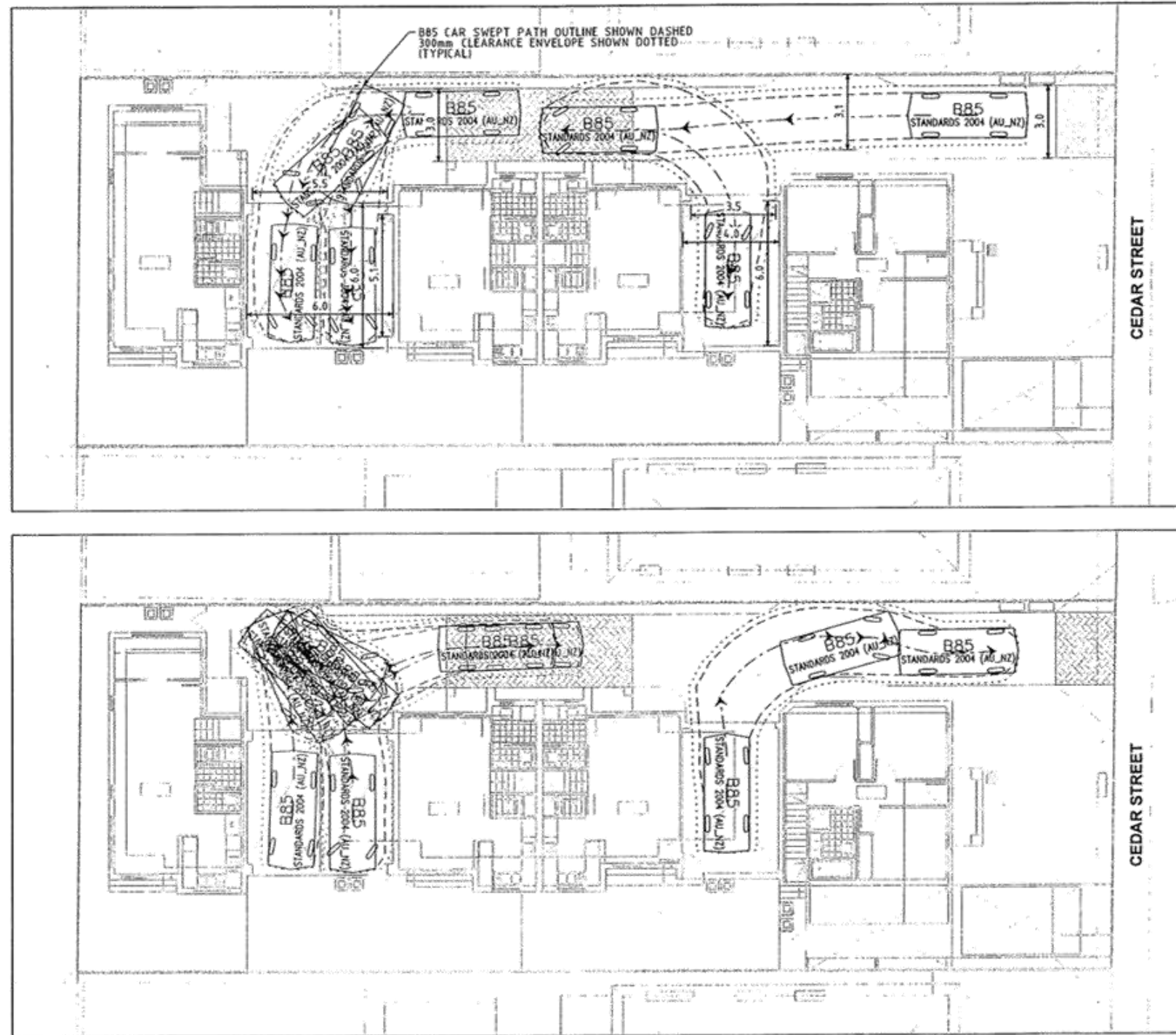
## REVISION SCHEDULE:

DATE	REVISION	REVISION DETAILS
15 FEB 2016	A	PRELIMINARY DESIGN PLANS - SCALE FOR REVIEW
21 FEB 2016	B	CLIENT REQUESTED CHANGES
01 MAR 2016	C	CLIENT REQUESTED CHANGES

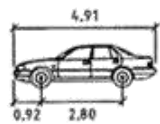
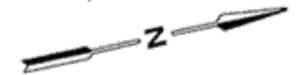


ELEVATIONS  
UNIT DEVELOPMENT  
10/18 CEDAR STREET  
WHITTLESEA, VIC 3014





Date: 11/8-31/8/16



B85	meters
Width	± 1.07
Track	± 1.77
Lock to Lock Time	± 6.0
Steering Angle	± 34.1

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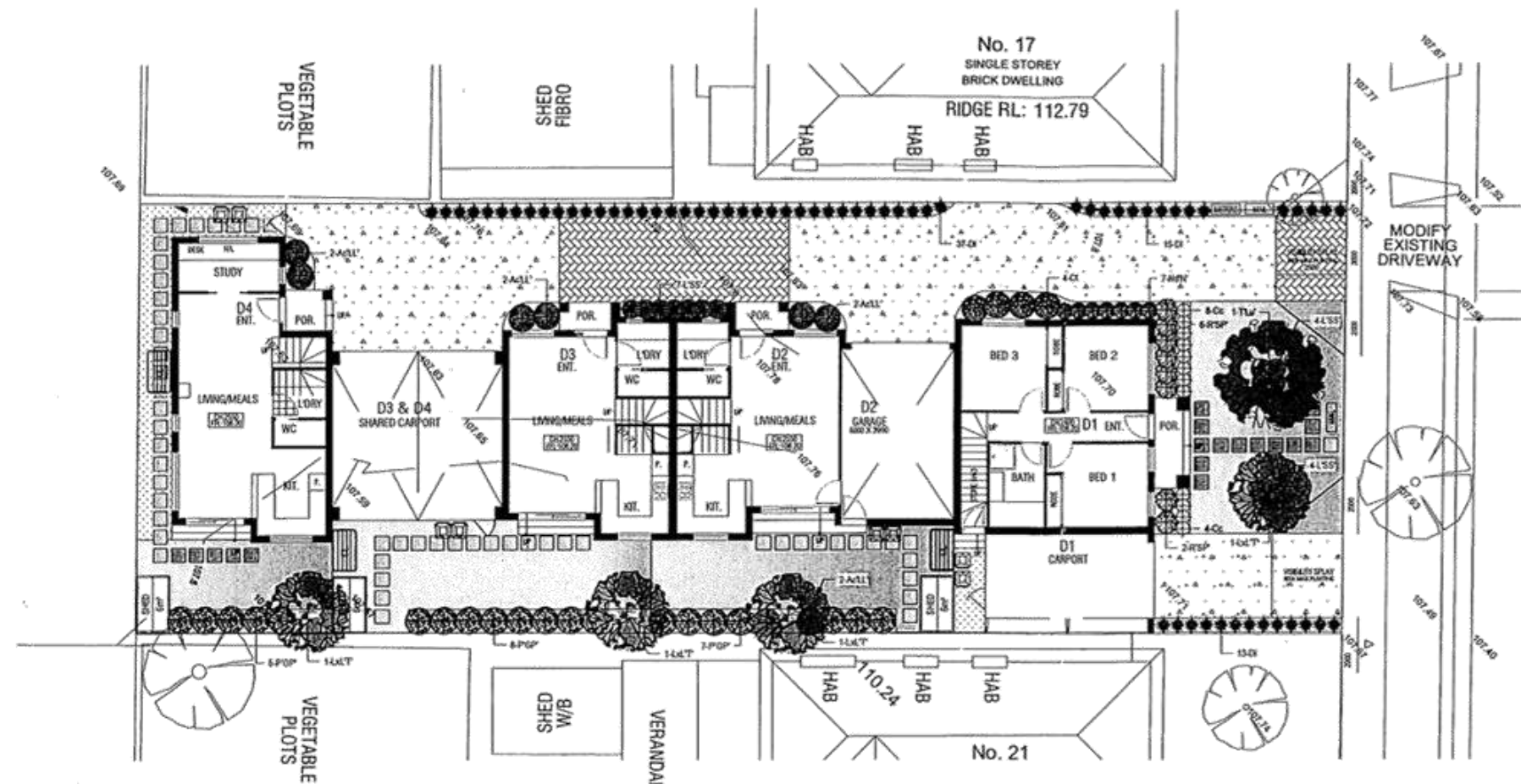


**onemilegrid**  
TRAFFIC ENGINEERING

109 Karlo Street, College Park, VA 20740  
Email: info@onemilegrid.com Phone: (301) 939-8150

Scale: 1" = 100'

Drawing Title PROPOSED RESIDENTIAL DEVELOPMENT 19 CEDAR STREET, THOMASTOWN SWEEP PATH ANALYSIS		
Designed CB	Approved VG	Metway Ref S K7
Project Number 16250	Drawing Number SPA100	Revision A



# City of Whittlesea ADVERTISED PLAN

Date: 11/8-31/8/16

CEDAR STREET

**LANDSCAPE MAINTENANCE SPECIFICATIONS**

**MAINTENANCE FREQUENCY**

**LANDSCAPE**

In accordance with the proposed landscape plan and schedule to ensure plants are maintained in healthy condition, this plan and schedule, and any amendments, shall be maintained in accordance with the following:

**LANDSCAPE MAINTENANCE SPECIFICATIONS**

**LANDSCAPE MAINTENANCE**

Landscaping is an essential part of any development and is an integral part of the overall design. The landscape should be maintained in a way that is consistent with the overall design and the surrounding environment. The following specifications are intended to ensure that the landscape is maintained in a way that is consistent with the overall design and the surrounding environment.

**MAINTENANCE FREQUENCY**

Landscaping should be maintained in a way that is consistent with the overall design and the surrounding environment. The following specifications are intended to ensure that the landscape is maintained in a way that is consistent with the overall design and the surrounding environment.

**LANDSCAPE**

In accordance with the proposed landscape plan and schedule to ensure plants are maintained in healthy condition, this plan and schedule, and any amendments, shall be maintained in accordance with the following:

**LANDSCAPE MAINTENANCE SPECIFICATIONS**

**LANDSCAPE MAINTENANCE**

Landscaping is an essential part of any development and is an integral part of the overall design. The landscape should be maintained in a way that is consistent with the overall design and the surrounding environment. The following specifications are intended to ensure that the landscape is maintained in a way that is consistent with the overall design and the surrounding environment.

## LANDSCAPE CONSTRUCTION SPECIFICATIONS

### GROUND PREPARATION

Site preparation to be carried out under outside conditions and in accordance with standard horticultural practice. The use of machinery and tools that may damage soil structure is not acceptable. Garden beds and lawn sub-grade is to be cultivated to a depth of 150mm and shaped to achieve drainage fall prior to adding topsoil. If topsoil is required, this is to be distributed and subsoiled into the sub-grade as per the manufacturer's instructions. Waste is to be removed prior to sub-grade preparation, top-soiling and planting.

### SOIL PREPARATION

Imported topsoil is to be supplied to an approved supplier to a depth of approximately 150-200mm (as required) for garden beds. Do not spread in muddy conditions. The topsoil is to be light to medium friable loam (capable of being compressed into a ball by hand when moist yet can be broken apart immediately when dry). It is to be 6.0-7.5 and free from perennial weeds and building rubbish. The finished top level after subsoiling should be 15mm below the existing level to allow for mulch. Imported topsoil for lawn areas is to be supplied to a depth of approximately 100mm (or as required).

### TINDER EDGING

Tinder edging is to be installed to separate all lawn, planting areas and driveway/footpath/pavement areas. The finished edge finish (or similar) is to be 75mm x 25mm in size, secured with 300mm long stakes at 1500mm spacings.

### PLANTING AND PLANTING

Plants and plants supplied are to be healthy and free from insects, diseases and weeds. The pot sizes indicated in the plant schedule are the minimum size to be supplied and installed. When each planting area is prepared, if soil is dry, it is to be watered and allowed to drain completely. Planting areas are to be bounded outwardly if roots are marked in soil. Place plant in centre of hole and ensure that the top of the rootball is flush with the surrounding soil surface and the trunk is vertical. Soil is to be backfilled firmly into the hole and thoroughly watered in. Trees are to be secured with two handspikes driven firmly into the ground but not through the rootball. Trees are to be secured to the stakes with strong but flexible tree ties that are light enough to support the tree in windy conditions but loose enough to stimulate good tree growth and development. The tree ties must not girdle tree bark or restrict tree growth for at least the first three years of tree growth. A slow release fertiliser (e.g. Osmocote or similar) is to be applied to all garden beds as specified by the manufacturer and be kept away from the plant trunk and then watered immediately. A layer of aged organic mulch to a minimum depth of 75mm is to be applied to all planting areas after planting is completed.

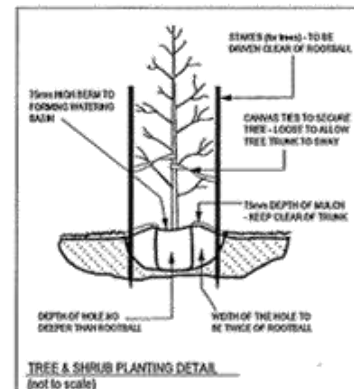
A slow release fertiliser (e.g. Osmocote or similar) is to be applied to all garden beds as specified by the manufacturer and be kept away from the plant trunk and then watered immediately. A layer of aged organic mulch to a minimum depth of 75mm is to be applied to all planting areas after planting is completed.

### IRRIGATION

An in-ground automatic drip irrigation system is to be installed to water all planting areas.

### DRAINAGE

Surface and sub-surface drainage is to be specified by a certified consulting engineer.



- STEPPING STONES
- KEYSTONE TOPPING
- DROUGHT TOLERANT LAWN
- PERMEABLE PAVING (e.g. Stonecrete or Waterpave)
- CONCRETE

IN-GROUND IRRIGATION SYSTEM INSTALLED TO WATER ALL GARDEN BEDS

TINDER EDGING TO BE INSTALLED TO SEPARATE LAWN, GARDEN BEDS & KEYSTONE TOPPING

ALL GARDEN BEDS TO HAVE MINIMUM 75MM LAYER OF MULCH

## PLANTING SCHEDULE

	ID	Qty	Common Name	Botanical Name	Height x Width @ Maturity (m)	Pot Size @ Installation (cm)
Trees	LxL	4	Cree Myrtle	Lagerstroemia indica 'X.L. fauriei' 'Tuscara'	5 x 3	45 - min. 2m @ installation
	TLx	1	Water Gum	Tristania laurina 'Luscious'	7 x 4	45 - min. 2m @ installation
Shrubs	AxL	8	Dwarf Bower Wattle	Atacola cognata 'Linnalight'	1 x 1	20
	CL	4	Mexican Orange Blossom	Cholysia temata	1.5 x 1.2	20
	Ce	12	Silver Bush	Convolvulus cneorum	0.3 x 0.5	14
	NxN	7	Dwarf Sacred Bamboo	Nandina domestica 'Nana'	0.8 x 0.5	14
	PxP	20	Green Pillar	Pittosporum 'Green Pillar'	3 x 1	14
	RxS	8	Spring Pearl	Raphiolepis 'Spring Pearl'	0.8 x 0.8	20
	Grasses					
Grasses	CL	65	Pale Flax Lily	Dianella longifolia	0.6 x 0.5	10
	LxS	15	Seascape	Lomandra 'Seascape'	0.7 x 0.7	14

A 07/16 Design 1

**NO. DATE NOTE**

THE BUILDER IS RESPONSIBLE FOR THE SETTING OUT OF THE WORKS, THE CHECKING OF ALL DIMENSIONS AND LEVELS ON SITE, AND THE REPORTING OF ANY DISCREPANCIES TO THE PROPRIETOR PRIOR TO COMMENCEMENT OF WORK. DO NOT SCALE FROM DRAWINGS.

Client  
Nick Kokovatis

Address  
19 Cedar Street  
Thomastown

Project  
Unit Development

Drawing  
Landscape Plan

2nd Concepts  
Landscape Design  
171 Abbott Street, Sandlingham  
PO Box 9087  
P 03 9558 2129  
M 0411 299 937  
E landscape@2ndconcepts.com

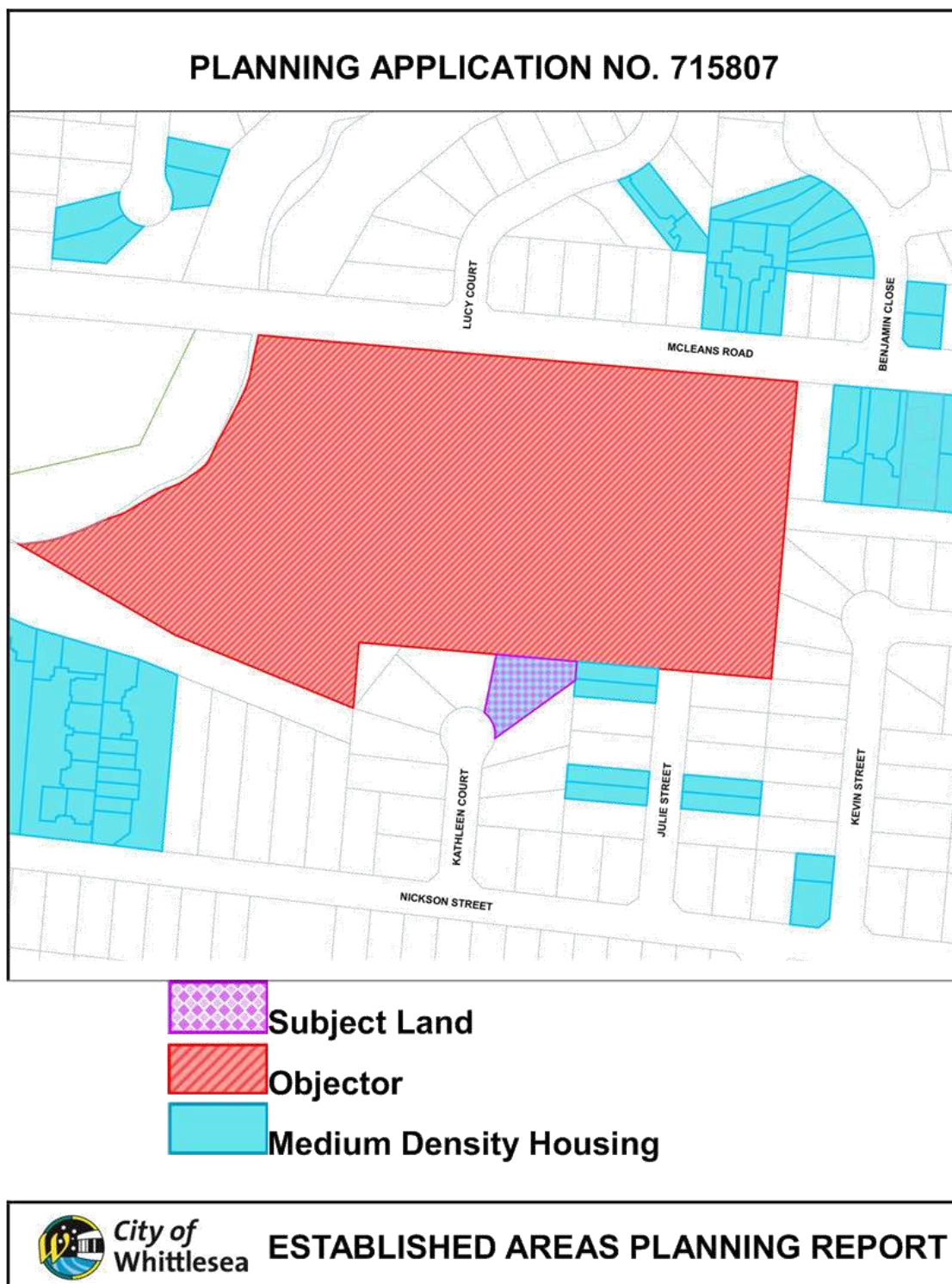
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Date  
July 2016

Rev. Dwg No.  
A Sheet 1 of 1








## PLANNING APPLICATION NO. 715807



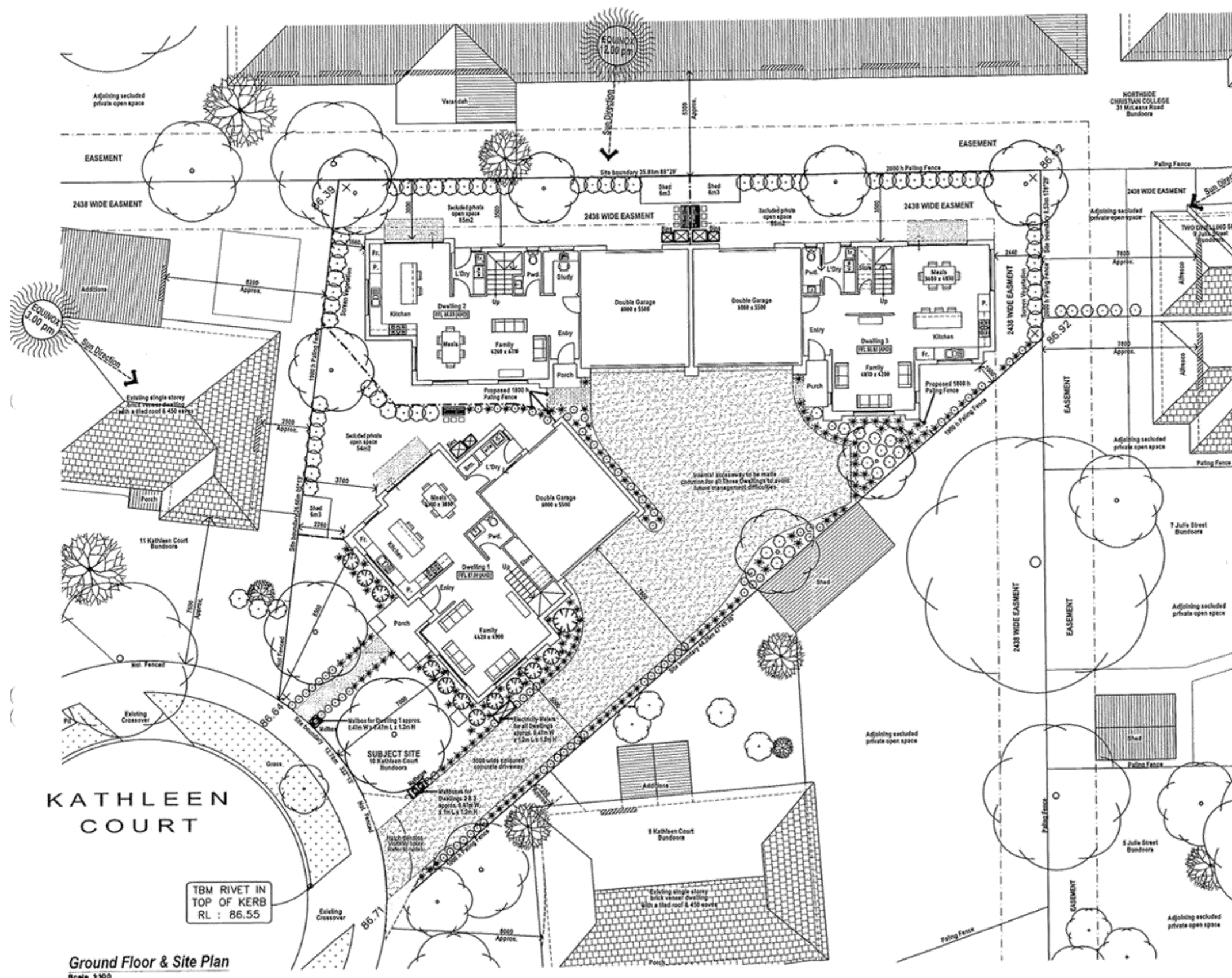
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-  Objector
-  Medium Density Housing



City of  
Whittlesea

## ESTABLISHED AREAS PLANNING REPORT



Ground Floor & Site Plan  
Scale 1:100

Project  
**Multi Dwelling Development**

Client  
**Bill Mitris**

Rev.	Date	Description	Initial
A	15/04/16	Council Queries	B.M.

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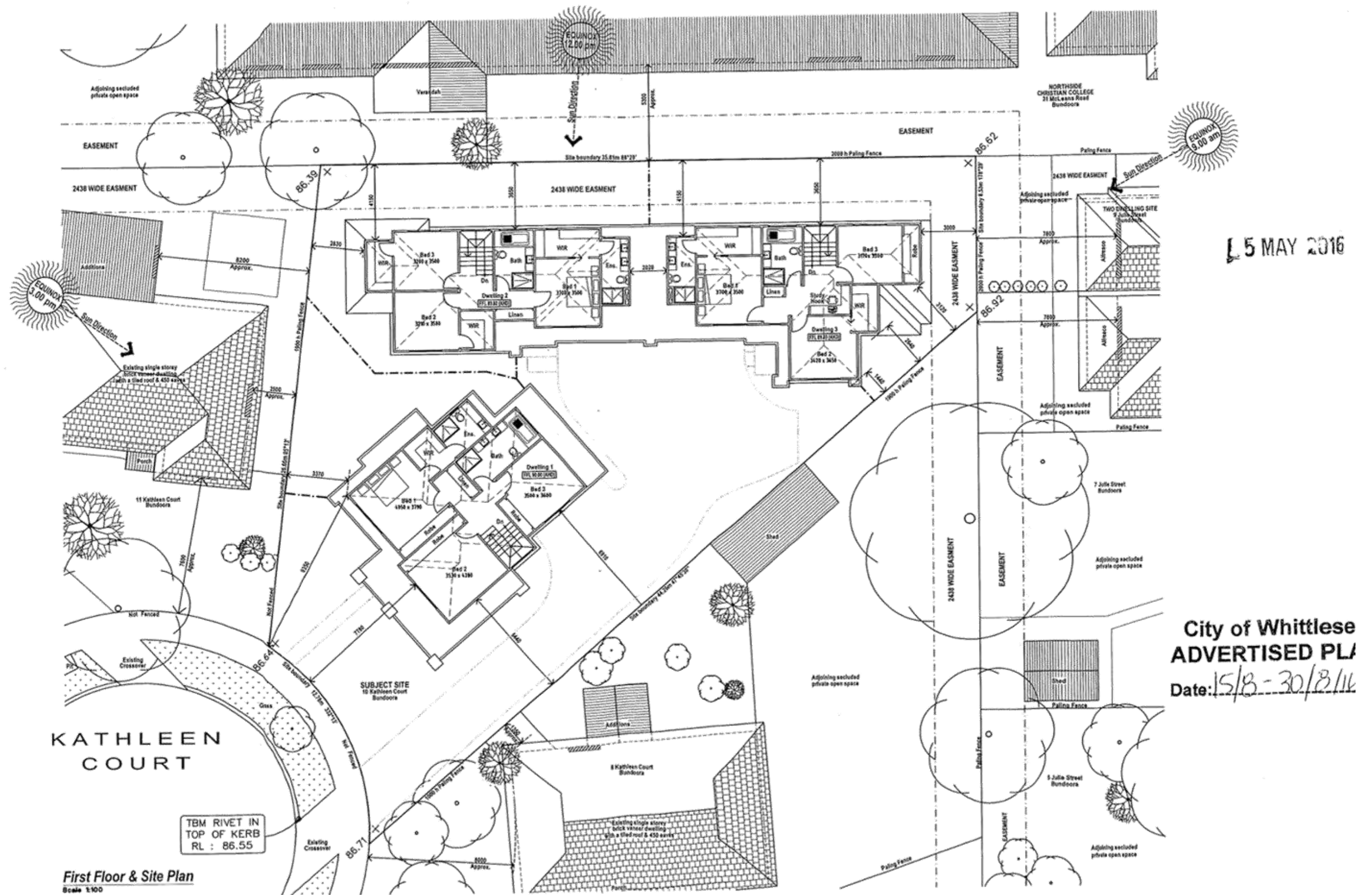


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Checked A.W.  
Date 15.04.2016

Drawing  
**Ground Floor & Site Plan**  
Address  
**At 10 Kathleen Court Rundoora**

Designer  
**Beyond Design Group Pty Ltd**  
687 Plenty Road, Reservoir  
Melbourne Victoria Australia  
Ph: (03) 9470 1144  
Fax: (03) 9470 3399





Project  
Multi Dwelling Development

Client  
Bill Mitris

Rev.	Date	Description	Initial
A	15/04/16	Council Queries	B.H.

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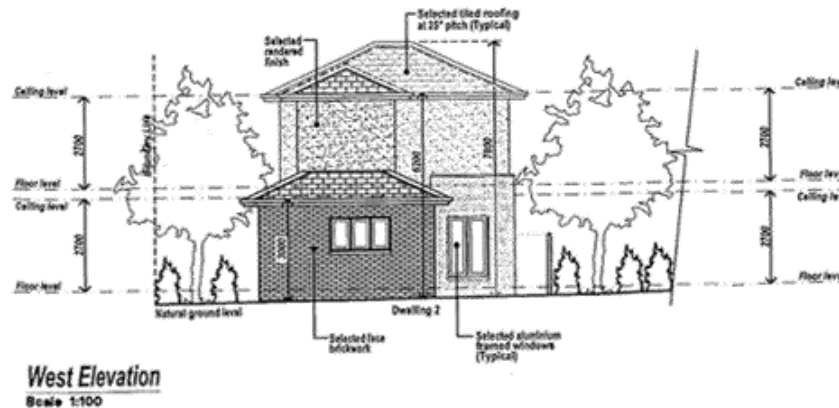
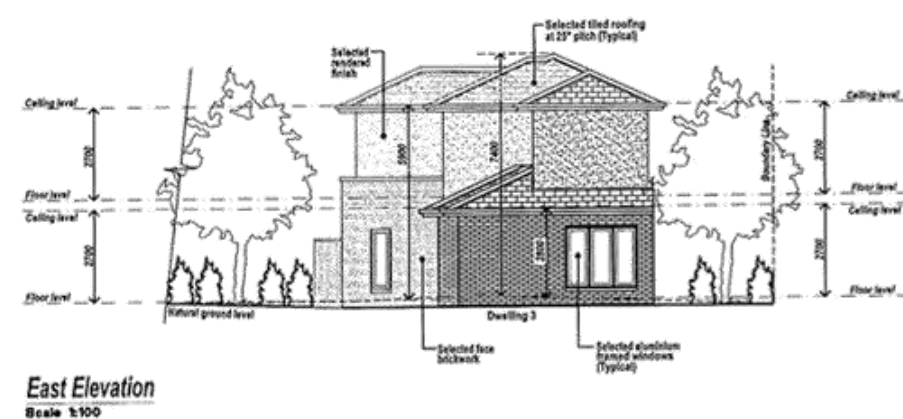
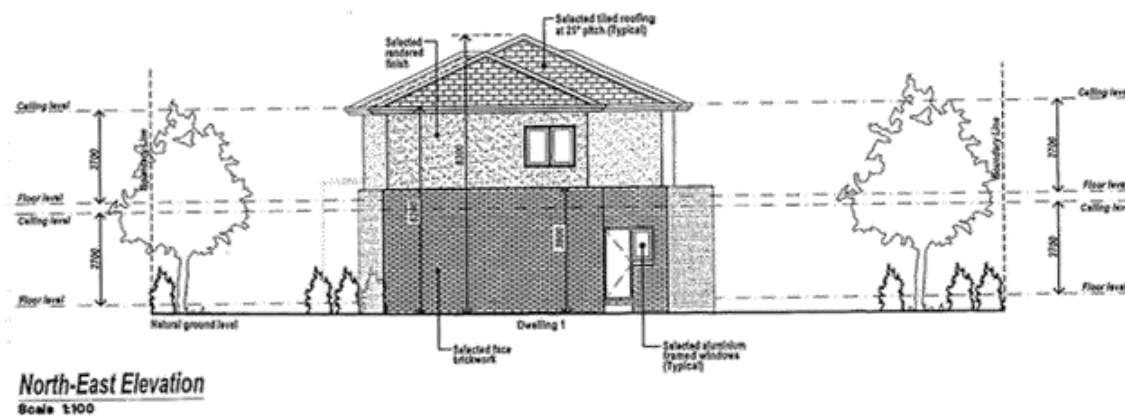
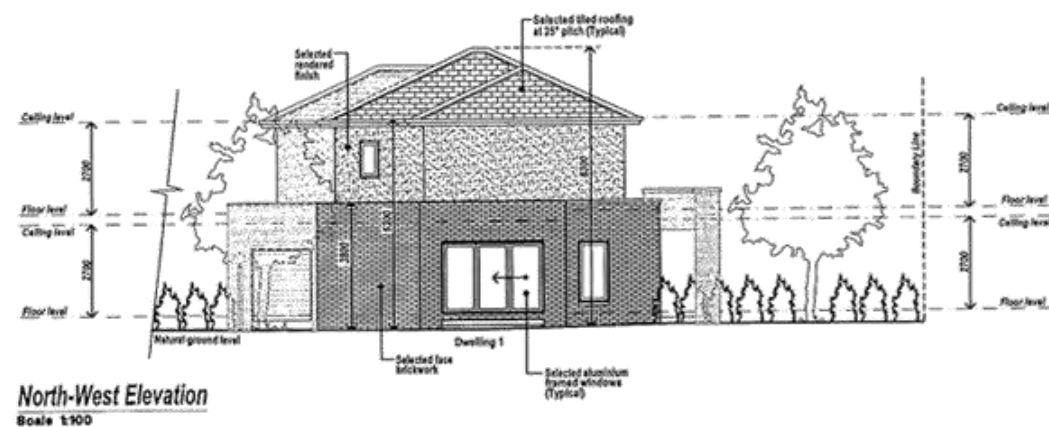
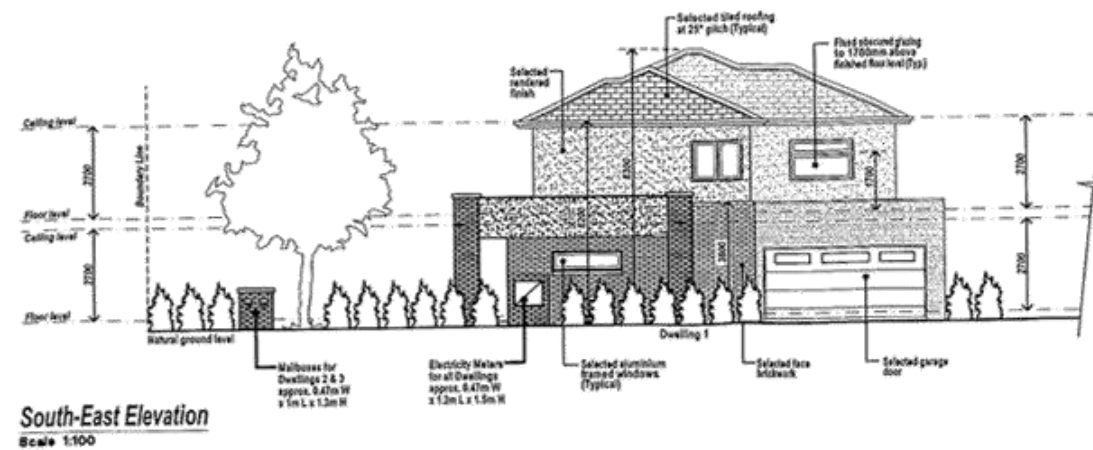
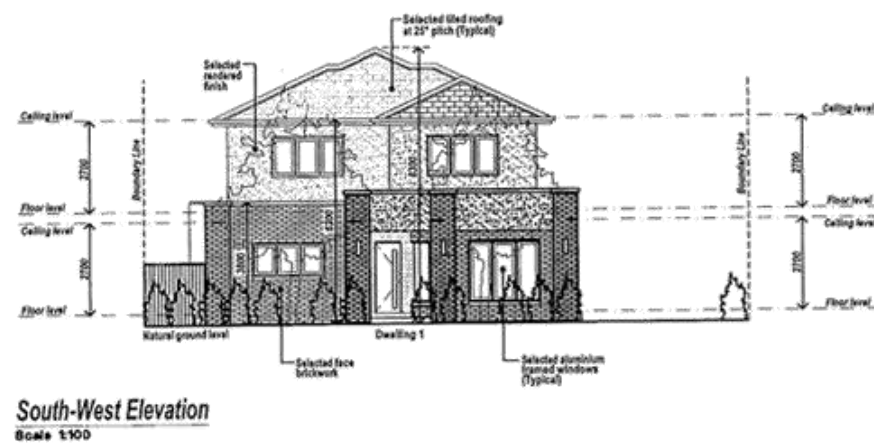
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Drawing  
First Floor & Site Plan  
Address  
At 10 Kathleen Court, Bundoora

Designer  
Beyond Design Group Pty Ltd  
657 Plenty Road, Reservoir  
Melbourne Victoria Australia  
Ph: (03) 9470 1144  
Fax: (03) 9470 3399



L 5 MAY 2016

City of Whittlesea  
ADVERTISED PLAN

Date: 15/8-30/8/16



Project

Multi Dwelling Development

Client

Rill Mitric

Rev.	Date	Description	Initial
A	15/04/16	Council Queries	B.H.

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Drawing

Elevations

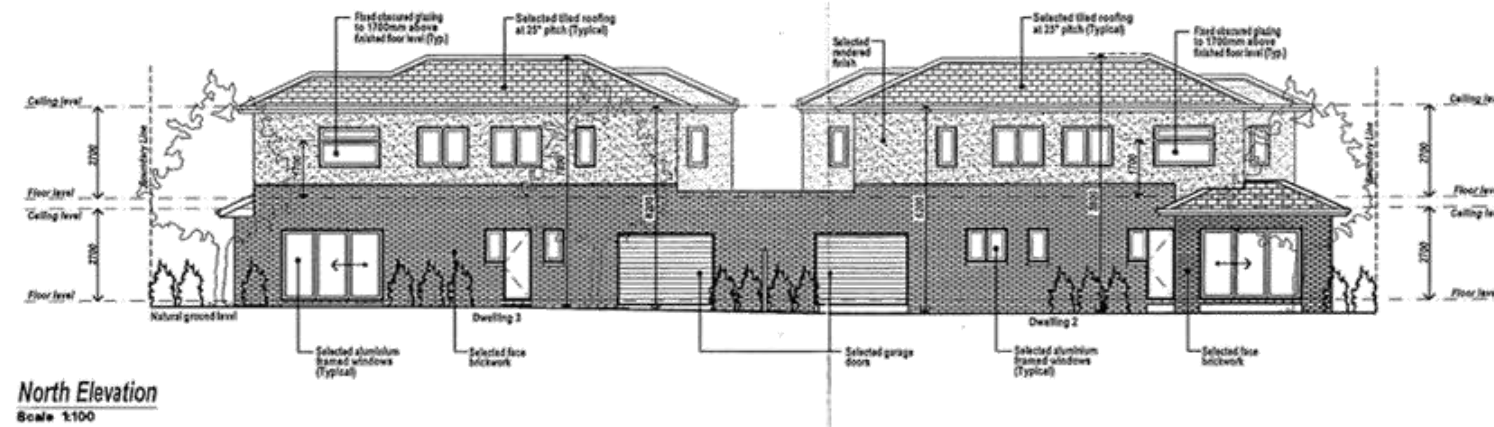
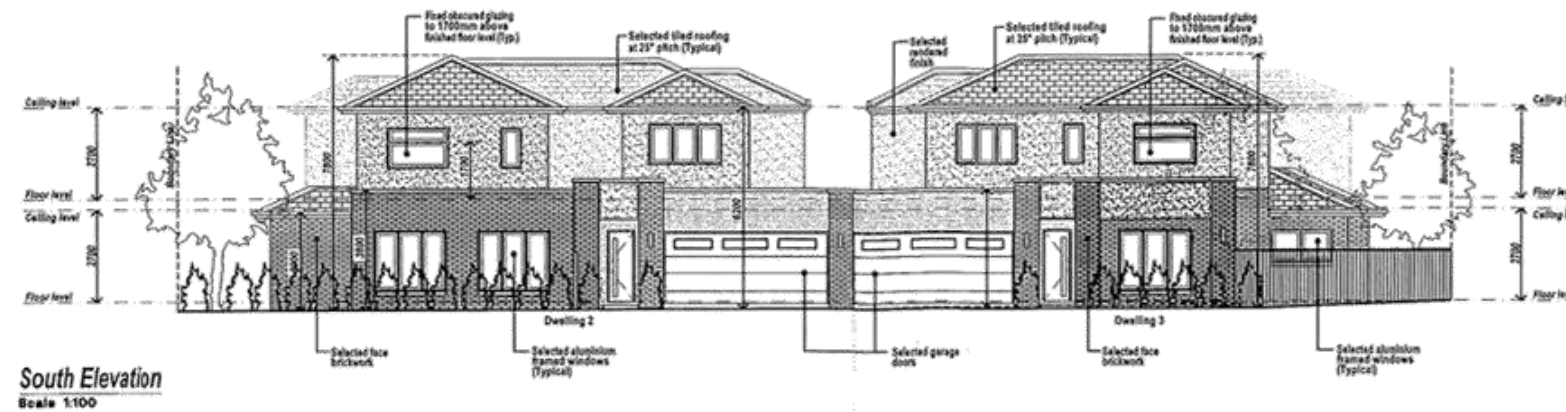
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Designer  
Beyond Design Group Pty Ltd  
667 Plenty Road, Reservoir  
Melbourne Victoria Australia  
Ph: (03) 9470 1144

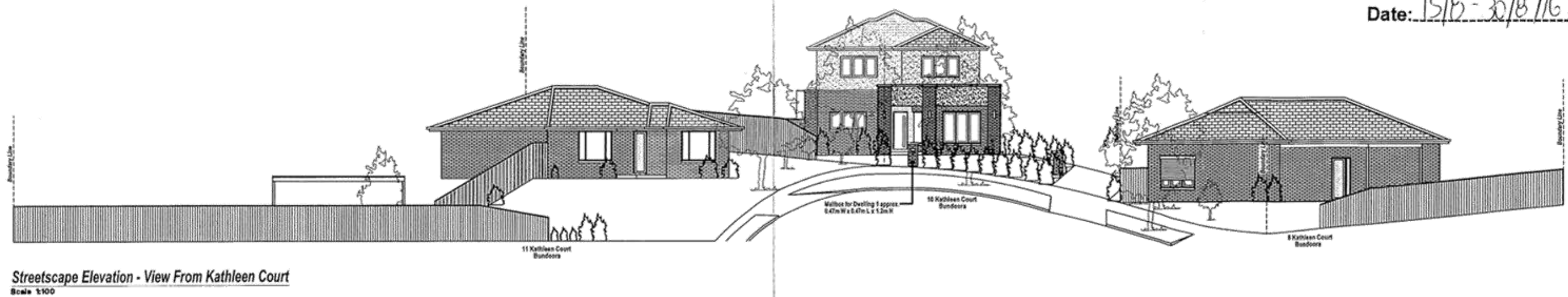




5 MAY 2016



City of Whittlesea  
ADVERTISED PLA  
Date: 15/8 - 30/8/16



Project  
**Multi Dwelling Development**

Client  
**Bill Mitris**

Rev.	Date	Description	Initial
A	15/04/16	Council Queries	B.K.

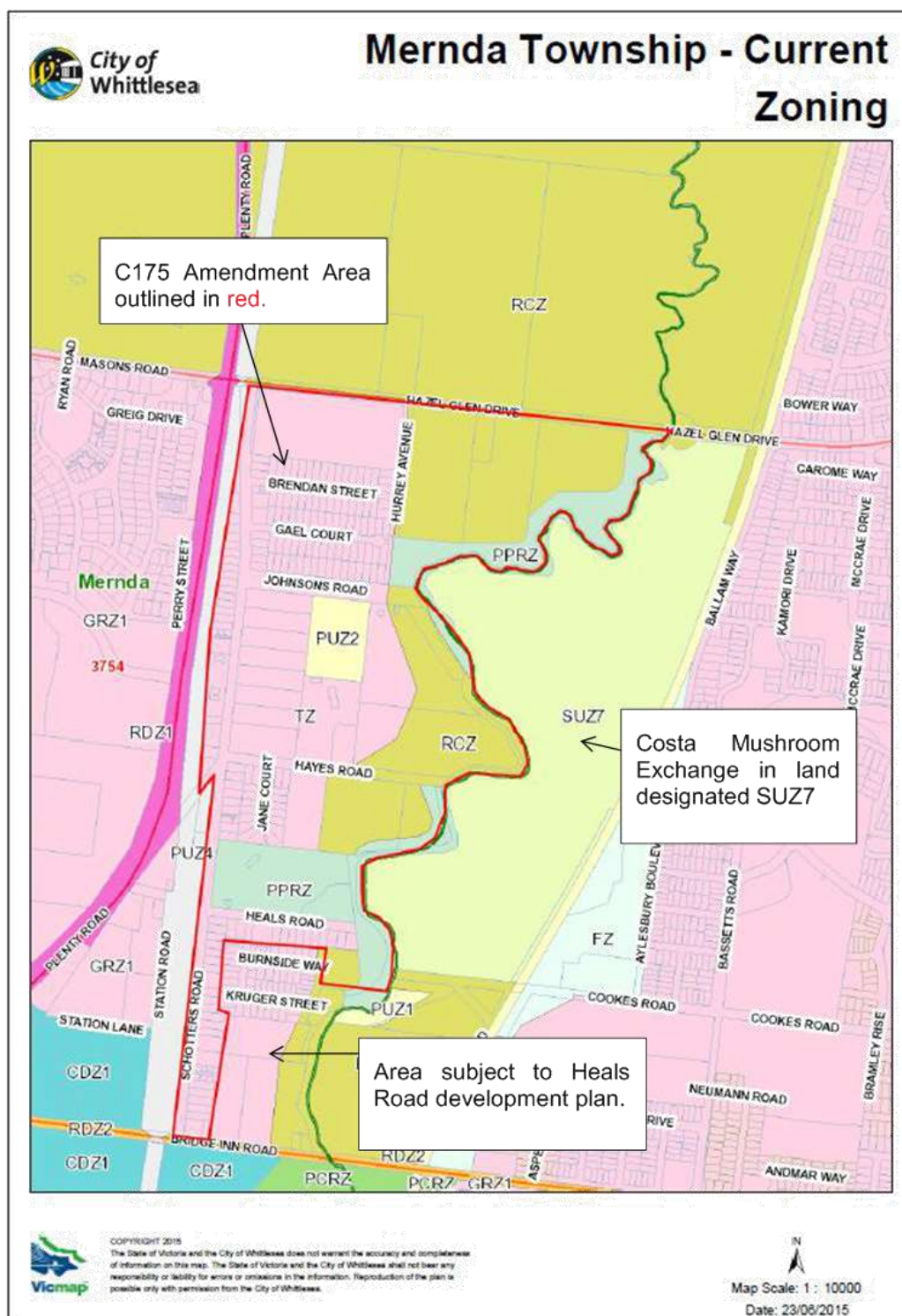
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Scale 1:100  
Checked A.W.

Drawing  
**Elevations**  
Address

Designer  
Beyond Design Group Pty Ltd  
667 Plenty Road, Reservoir  
Melbourne Victoria Australia  
Ph: (03) 9470 1144









## Executive Summary

### (i) Summary

Amendment C175 seeks to provide improved guidance over the future growth of the Mernda Township, by rezoning land currently zoned Township and Public Use to General Residential Zone, and applying the Development Plan Overlay Schedule 34, the Land Subject to Inundation Overlay, and the Vegetation Protection Overlay Schedule 1.

The key issues raised in submissions were:

- whether land in the eastern part of the Township that is currently zoned Rural Conservation Zone (RCZ) should be included in the land to be rezoned to General Residential Zone
- whether the Land Subject to Inundation Overlay (LSIO) should be applied, and how the boundaries of the LSIO were determined
- traffic and transport issues, including ensuring that development in the Township does not impact on the operation of the proposed Mernda Rail Extension project.

#### Rural Conservation zoned land

The most contentious issue was the rezoning of the RCZ land.

On the one hand, RCZ landowners submitted that the RCZ land has long been recognised in strategic planning as a future residential area, and it would constitute orderly planning to rezone the land along with the rest of the Township, to facilitate an integrated and connected approach to its development.

On the other hand, Council and the Costa Group (which operates the Mernda Mushroom Exchange on the opposite banks of the river) argued that the RCZ land should not be rezoned as part of this Amendment, because it serves an important function of providing a buffer between the Mushroom Exchange and urban development within the Township.

There is strong strategic support for rezoning the RCZ land (provided it is not required as a buffer). No evidence was put to the Panel that the operations of the Mushroom Farm would be compromised if residential development were allowed to occur on the RCZ land. No evidence was presented that any jobs at the Mushroom Exchange will be lost. Nor was any evidence put to the Panel that residential development on the RCZ land would be affected by off-site amenity impacts from the Mushroom Farm. On the evidence before it, the Panel was not persuaded that the RCZ land should not be rezoned for residential development.

However, the Panel does not believe that rezoning the RCZ land should happen as part of Amendment C175. The exhibited Amendment did not propose rezoning the RCZ land. Rezoning the land as part of this Amendment would be a significant change. Parties such as the Costa Group should have the opportunity to obtain scientific or technical information on the impacts that residential development of the RCZ land might have on the Mushroom Exchange (and vice versa) before any rezoning proceeds.

That said, the Panel considers that the rezoning of the RCZ land could have been handled better. If the exhibited Amendment had included the RCZ land as originally proposed, the Amendment process would have provided the parties with the opportunity to obtain and

test the required scientific and technical evidence, and to establish whether or not the RCZ land (or how much of it) is required as a buffer. The decision to remove the RCZ land has left the RCZ landowners in a state of 'limbo'. With no rezoning proposal on foot, there is nothing to prompt the Costa Group (or Council) to obtain the necessary scientific or technical advice needed to establish the buffer requirements.

Accordingly, the Panel concludes that Council should prepare an amendment to rezone the RCZ land for residential development without delay, to enable the residential development of the RCZ land to be planned in an orderly way along with the rest of the Township. The amendment process will allow for the required scientific or technical advice to be obtained and tested, and for an informed decision to be made about the impacts rezoning the RCZ land might have on the Mushroom Exchange.

#### **Land Subject to Inundation Overlay**

Currently, no flood provisions are in place for the land located along the Mernda Drain between Plenty Road and its confluence with the Plenty River. Melbourne Water's modelling of flood levels in a 1 in 100 year flood event shows that the land will be subject to low level flooding (less than 350mm). The Panel concludes that flood controls should be applied to the land, and that the Land Subject to Inundation Overlay (LSIO) is the most appropriate tool.

From a property owner's perspective, the LSIO is the least onerous of the tools available to manage flood risk in planning schemes. It requires only a permit for buildings and works, and importantly, it does not prohibit either use or development of the land.

The Panel concludes that the Amendment insofar as it relates to the LSIO should be adopted as exhibited, but that changes should be made to the Concept Plan in the proposed DPO34, to ensure consistency between the LSIO and the 'Plenty River environs' designation on the Concept Plan.

The extent of the proposed LSIO is significant on some properties (particularly the property at 88-90 Schotters Road). The affected landowners have legitimate concerns about the possible impacts of the LSIO on their properties. The Panel believes that both Council and Melbourne Water could have engaged more constructively with landowners affected by the proposed LSIO.

#### **Other matters**

Submissions raised a number of other matters. The main issues related to traffic and transport matters. Public Transport Victoria and the Level Crossing Removal Authority raised a number of issues, including in relation to how the Amendment might affect the Mernda Rail Extension project (for which a reference design was recently released). Council was able to resolve many of these issues in discussions with the relevant agencies prior to the hearing, and the Panel has made recommendations regarding the unresolved issues.

#### **(ii) Conclusions**

The Panel concludes that the Amendment represents sound planning, and should be supported subject to some drafting changes to the proposed DPO34, some changes to the

Concept Plan in DPO34, and the insertion of an additional referral requirement into the schedule to Clause 66.04 of the Whittlesea Planning Scheme.

**(iii) Recommendations**

Based on the reasons set out in this Report, the Panel recommends:

**Whittlesea Planning Scheme Amendment C175 be adopted as exhibited subject to the following changes:**

1. Amend Schedule 34 to the Development Plan Overlay as follows (as shown in Appendix C):

- a) Include the following in a new Clause 3.0:

**3.0 Referral of applications**

In accordance with section 55 of the Act, an application must be referred to the relevant referral authority specified in the schedule to Clause 66.04.

- b) In Clause 3.0 (now Clause 4.0), include the following additional dot point under the heading 'Road and pedestrian network':

- Provision of a shared pathway along the length of Schotters Road that provides a pedestrian connection from Bridge Inn Road to Hazel Glen Drive. The final layout of the shared pathway is to be determined following discussions between the Responsible Authority and Public Transport Victoria prior to the approval of the Development Plan.

- c) Include the following in a new Clause 5.0:

**5.0 Decision guideline**

Before deciding on a request to approve or amend a Development Plan, the responsible authority must consider the views of Public Transport Victoria in relation to whether the Development Plan or amended Development Plan prejudices the operation of the Mernda Railway Line.

2. Amend the Concept Plan in Clause 4.0 (now Clause 6.0) of Schedule 34 to the Development Plan Overlay as follows:

- a) Amend the boundaries of the 'Plenty River environs' designation insofar as it affects the property at 88-90 Schotters Road and the properties fronting Hayes Road so that the 'Plenty River environs' boundaries accord with those of the Land Subject to Inundation Overlay. Insert the following footnote:

The area designated as 'Plenty River environs' that is also subject to the Land Subject to Inundation Overlay (LSIO) is developable on conditions consistent with, and no more onerous than, those applying under the LSIO.

- b) Illustrate the Mernda rail reserve and clearly show it as being outside the area covered by the Concept Plan and Schedule 34 to the Development Plan Overlay.



- c) Remove the shared pathway shown in the Mernda rail reserve and include it within the Schotters Road road reserve. Insert the following footnote:

The ultimate form and delivery of the shared path will be subject to discussion with Public Transport Victoria at the Development Plan and planning permit application stages.

- d) Delete the two east–west road links across the Mernda rail reserve.  
e) Remove the status of Station Road as nominated on the Concept Plan. Insert the following footnote:

The status of Station Road is to be determined by a separate planning process.

- f) Remove any reference to specific intersection treatments and nominate intersections likely to require an intersection treatment. Insert the following footnote:

The ultimate form and details of intersection treatments are to be determined at the Development Plan and planning permit application stages.

- g) Show an additional ‘proposed local open space’ area in the location of Reserve No. 1 as shown on the certified plan of subdivision prepared pursuant to Planning Permit 713337 for the subdivision of the land at 345 Hazel Glen Drive.

- h) Designate the residential portion of the land at 31-35 Johnsons Road Mernda as ‘standard density residential/retirement village’.

3. Amend the Schedule to Clause 66.04 of the Whittlesea Planning Scheme to include the following requirements in the table in the Schedule:

- Clause – Clause 3.0 of Schedule 34 to Clause 43.04 (Development Plan Overlay)
- Kind of application – An application to use land, subdivide land, or construct a building or carry out works on land within 50 metres east of the Mernda Rail Reserve and within the area of the Mernda Township as shown on the Concept Plan in Clause 6.0 of Schedule 34 to Clause 43.04
- Referral authority – Public Transport Victoria
- Type of referral authority – Recommending referral authority.

(iv) Further recommendations

The Panel makes the following further recommendations:

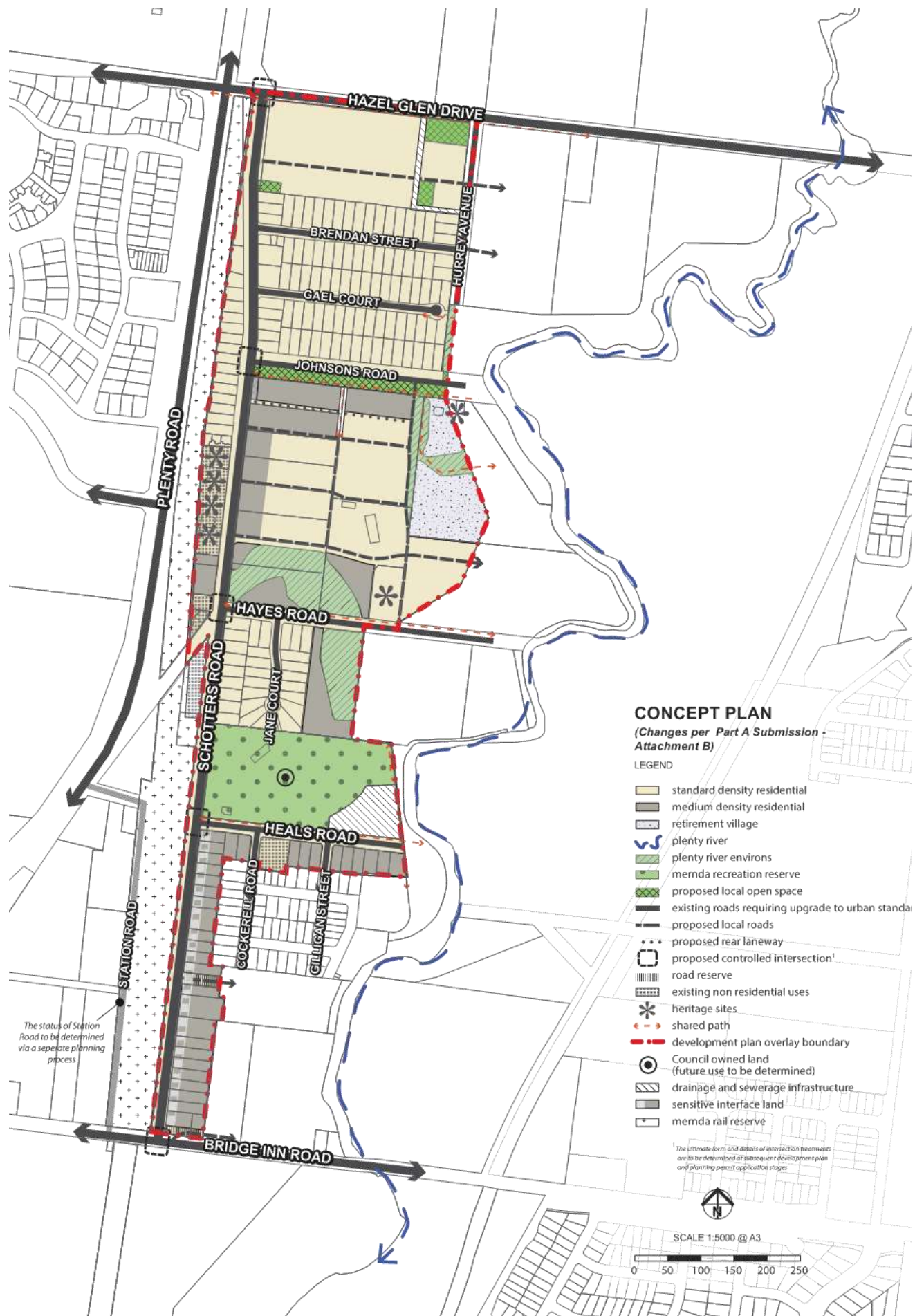
Whittlesea City Council should prepare an amendment without delay to:

- rezone the Rural Conservation zoned land within the Mernda Township for residential development
- apply the Land Subject to Inundation Overlay to that part of the land that is within the declared 1 in 100 year flood line.

The amendment should be supported by scientific or technical evidence on the impacts that residential development on this land might have on the Mernda Mushroom Exchange.











## 50 and 60 Hunters Road Mernda



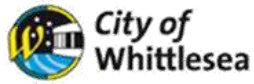
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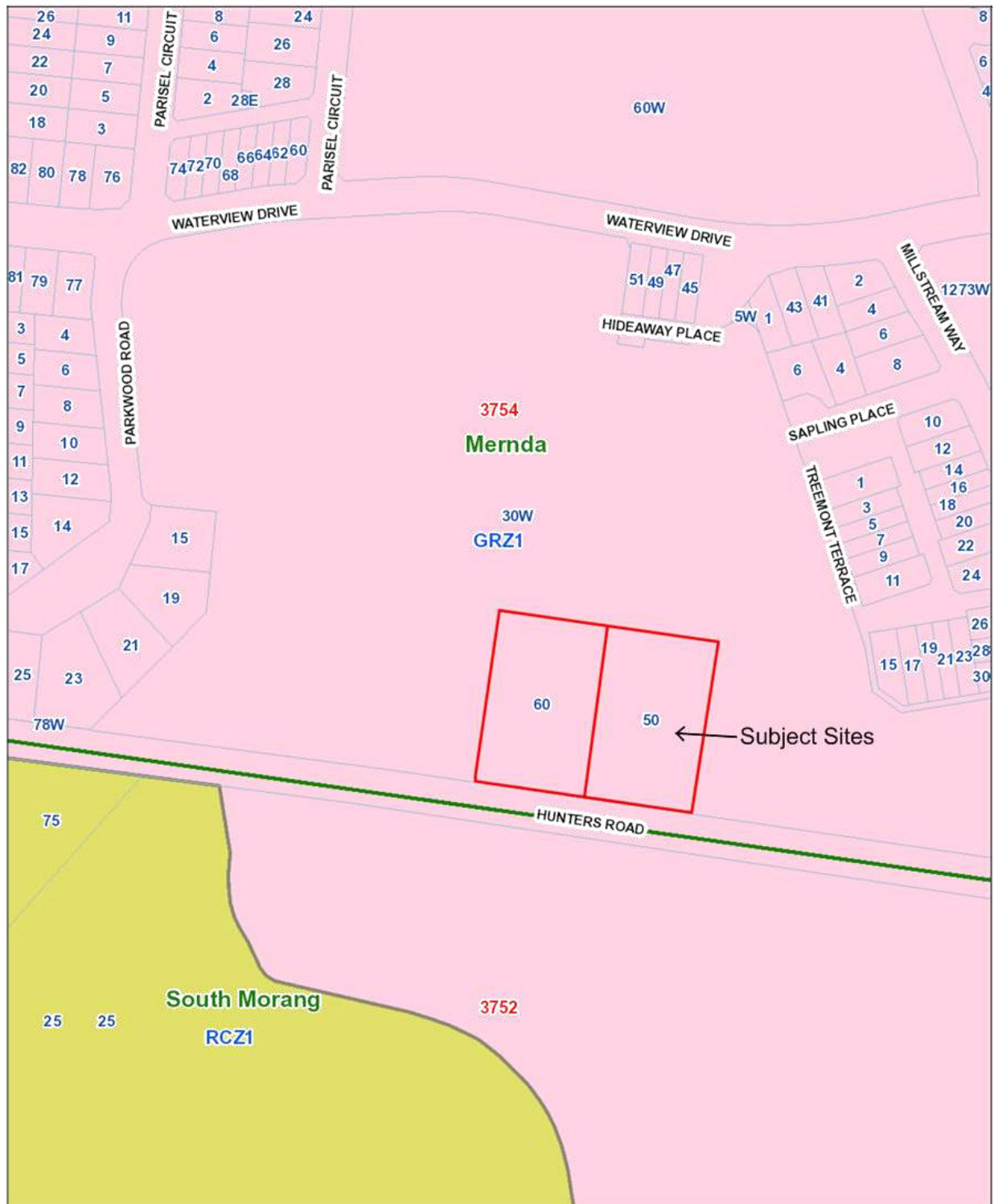
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Date: 29/02/2016  
Produced By: aof







# 50 and 60 Hunters Road Mernda



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Date: 07/03/2016  
Produced By: fxt

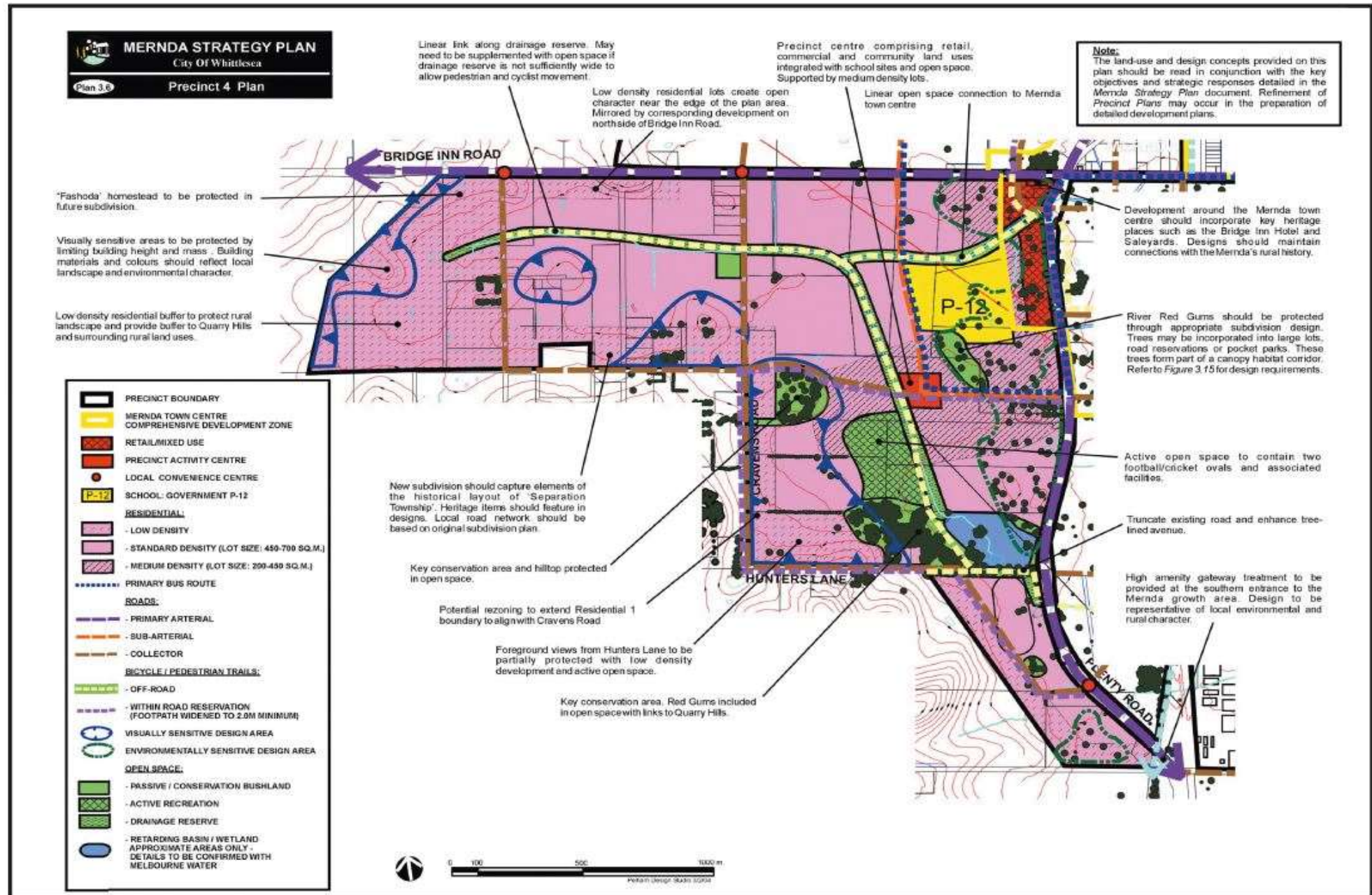






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Date: 07/03/2016  
Produced By: fxt









## PLANNING APPLICATION NO. 716177



**Subject Land**



**830-860 Bridge Inn Road, Doreen**

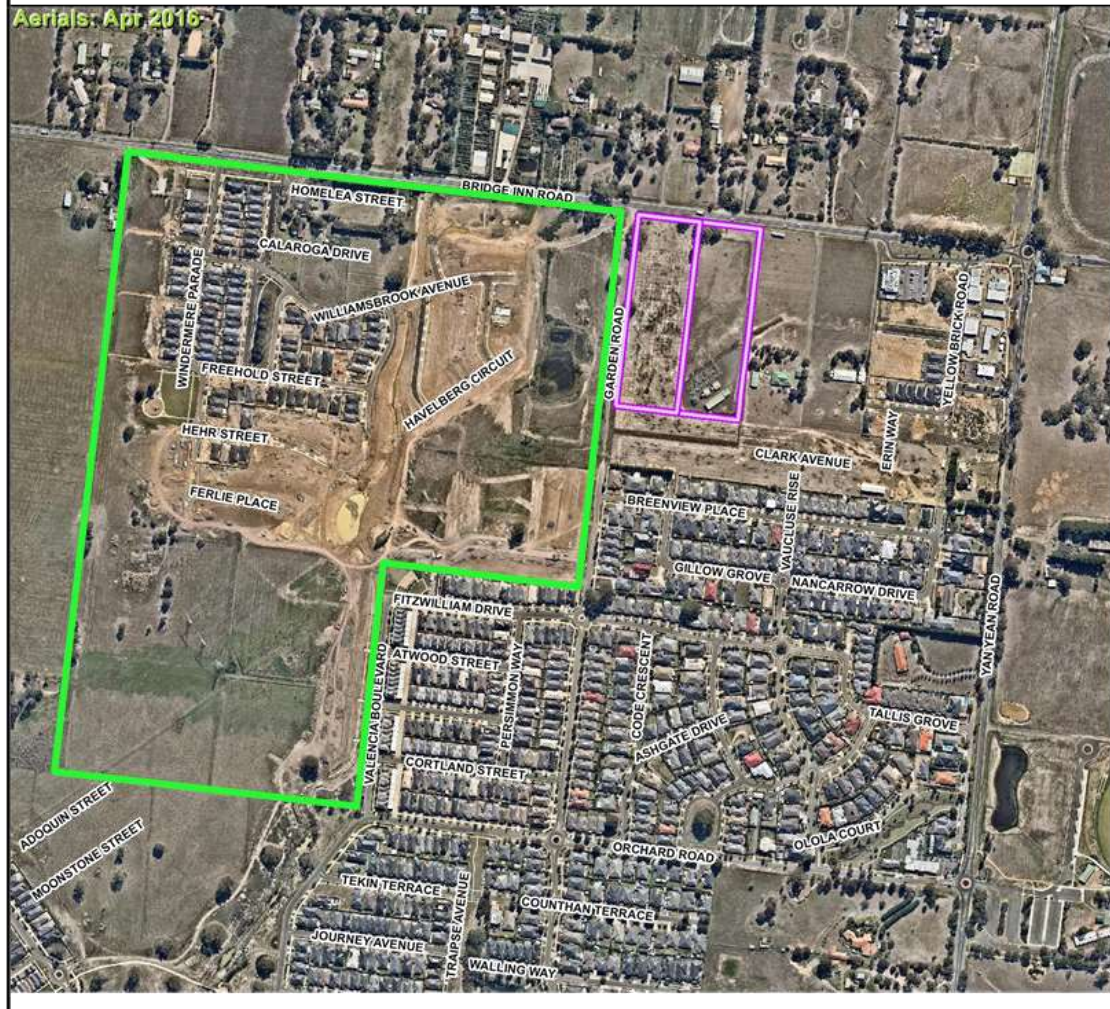


**City of  
Whittlesea**

**ESTABLISHED AREAS PLANNING REPORT**

## PLANNING APPLICATION NO. 716177

Aerials: Apr 2016



**Subject Land**



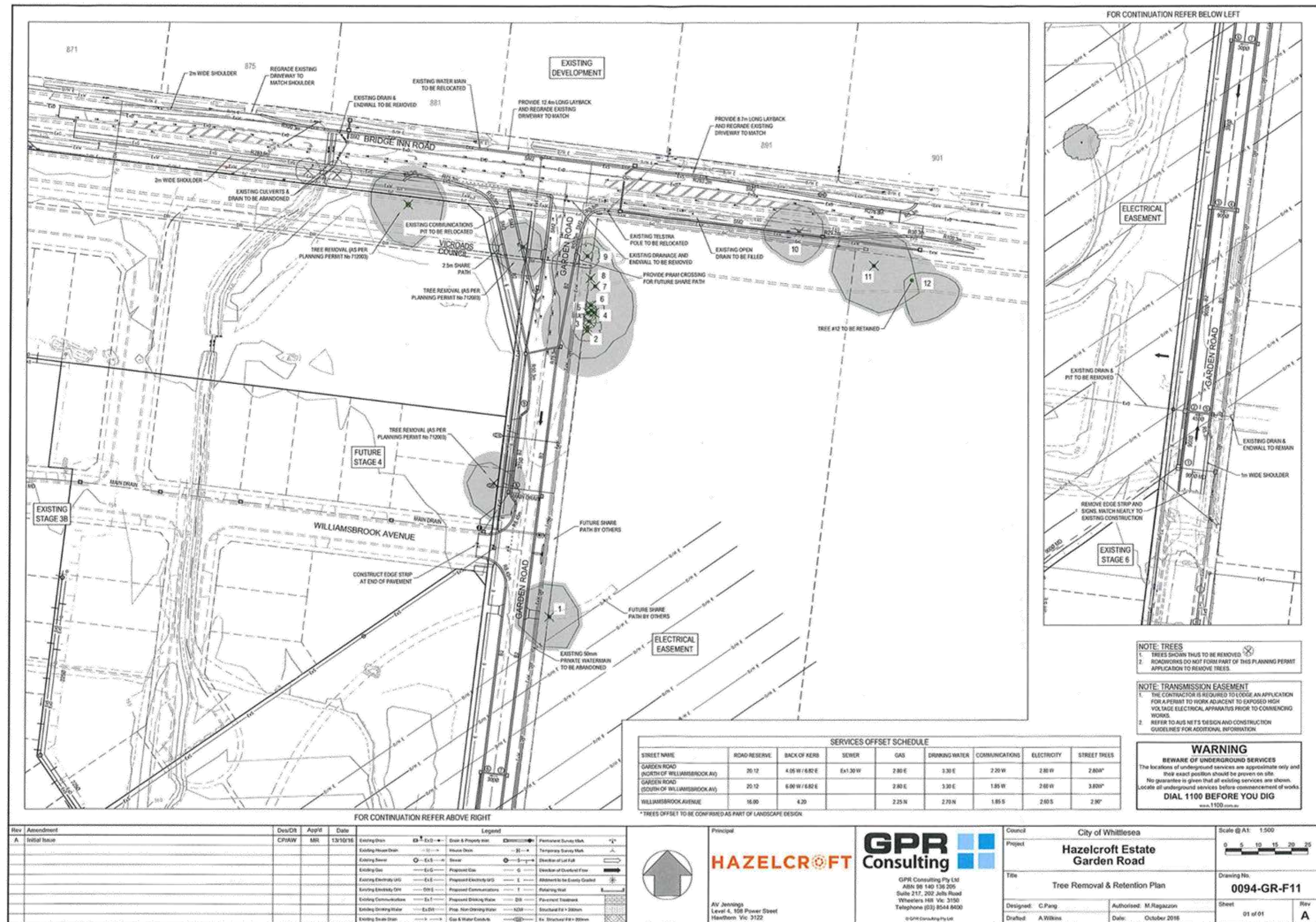
**830-860 Bridge Inn Road, Doreen**



**City of  
Whittlesea**

**ESTABLISHED AREAS PLANNING REPORT**









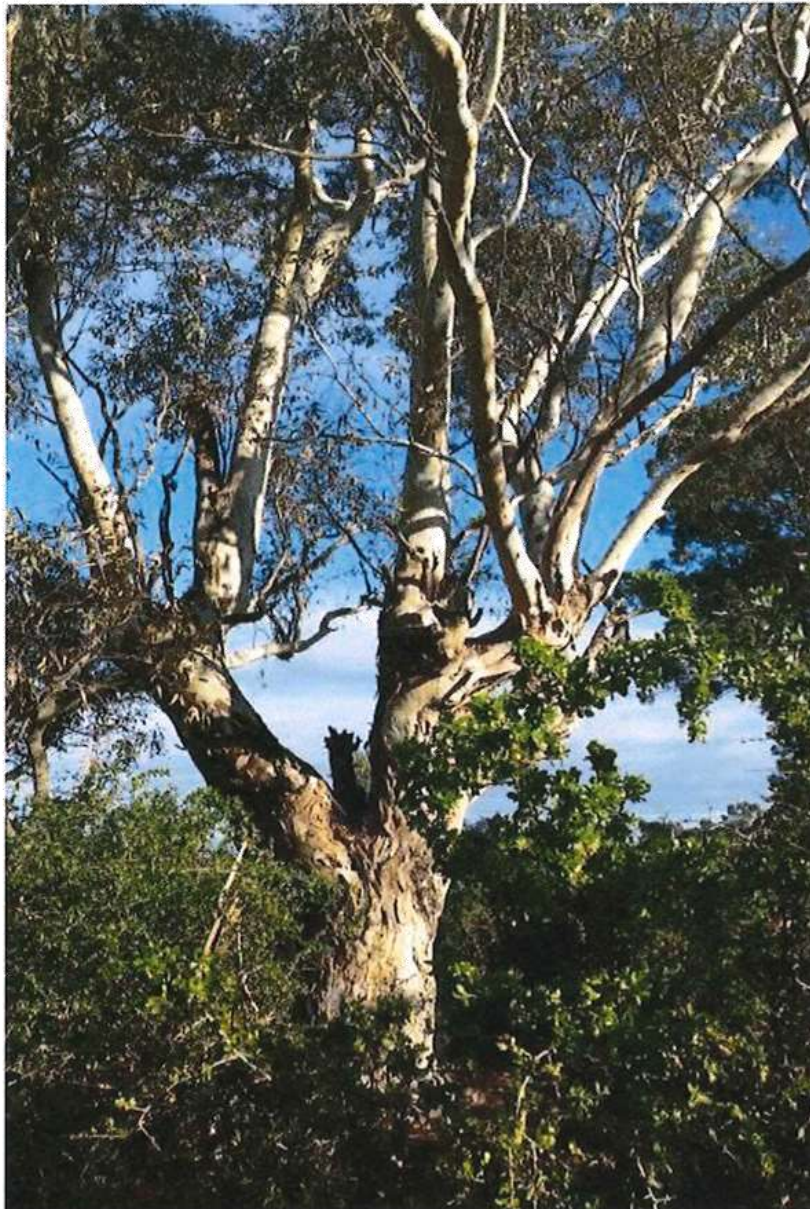


Tree 1



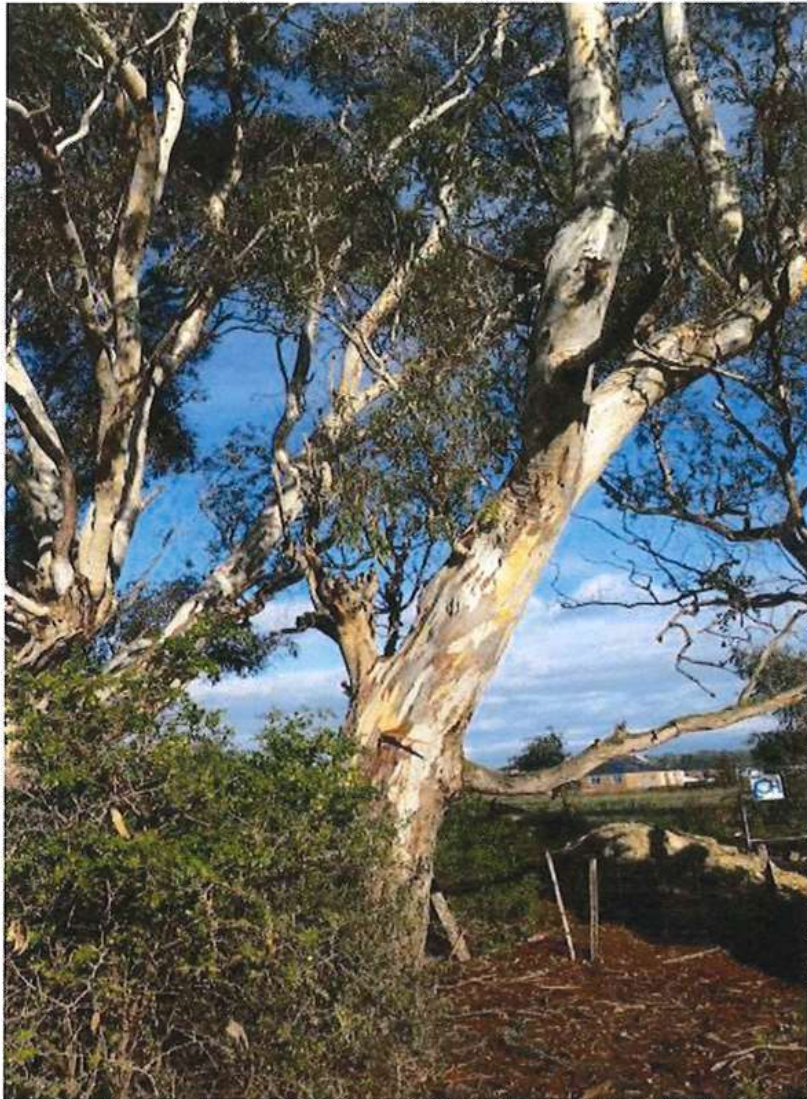


Trees 2 – 5



Tree 6



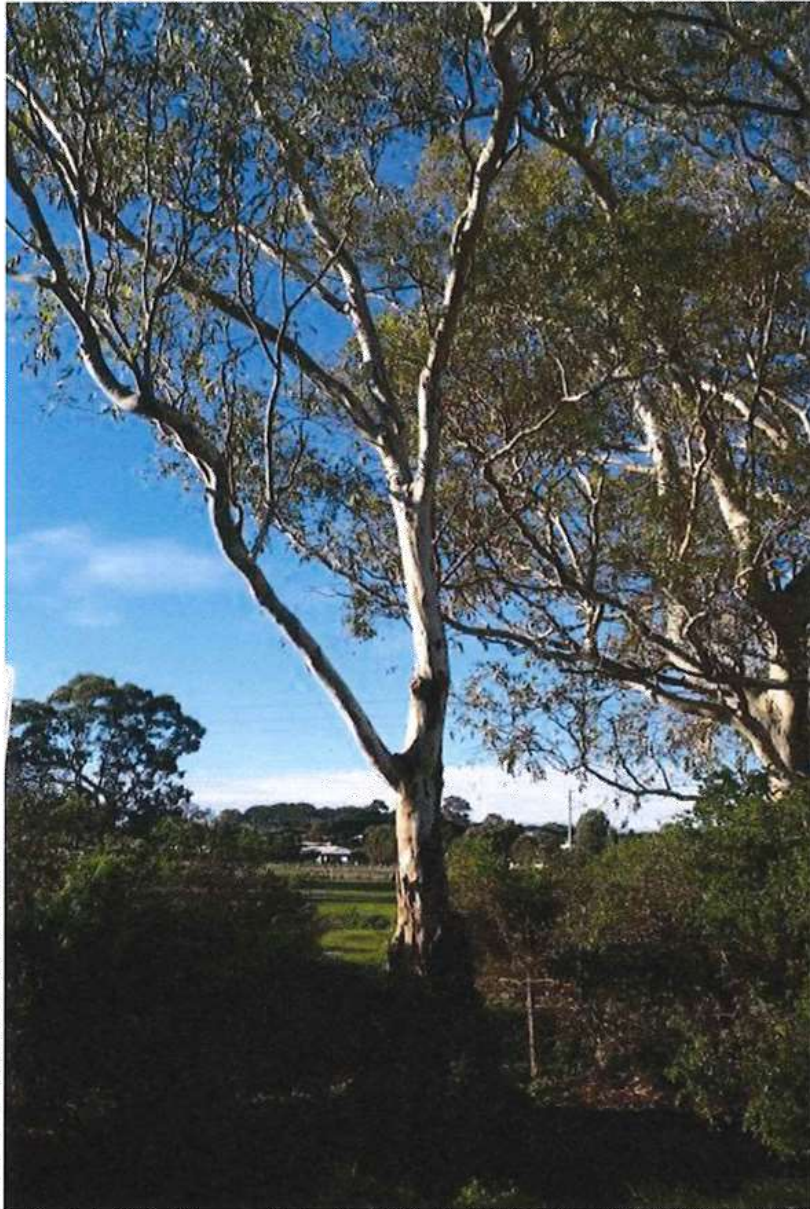


Tree 7



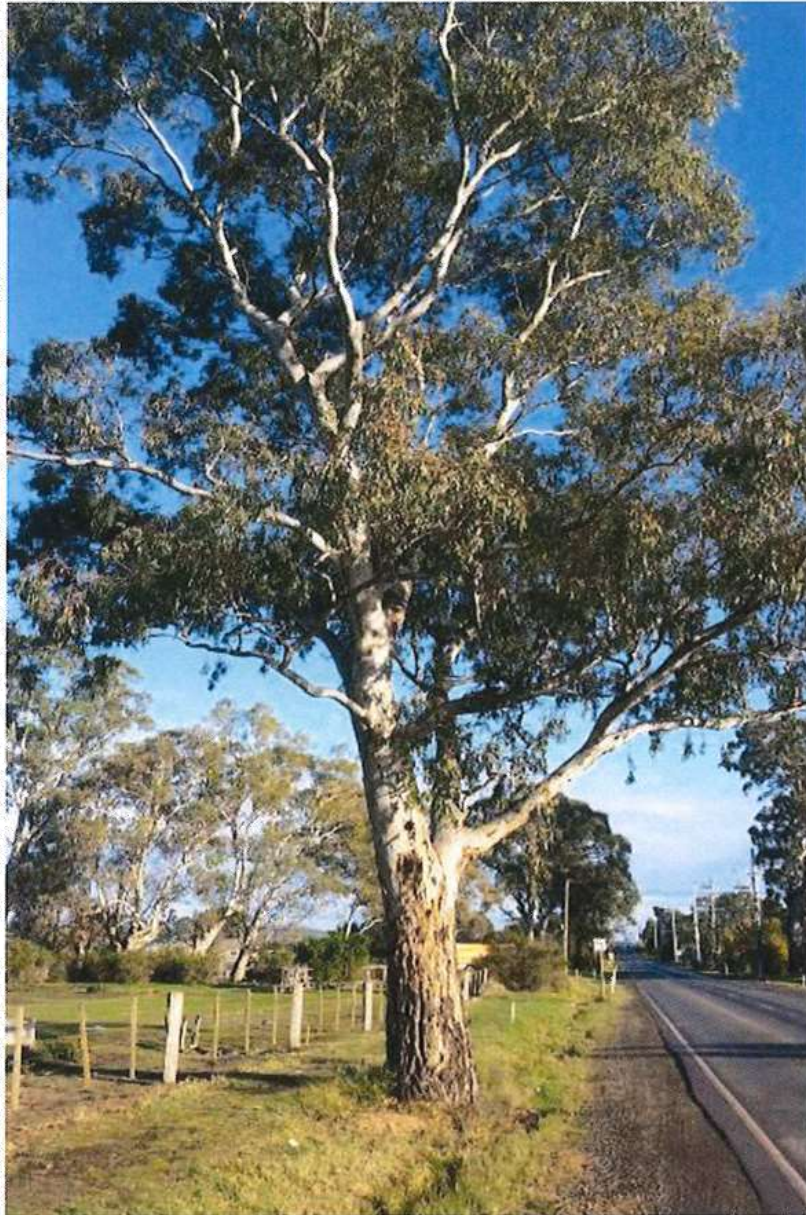


Tree 8



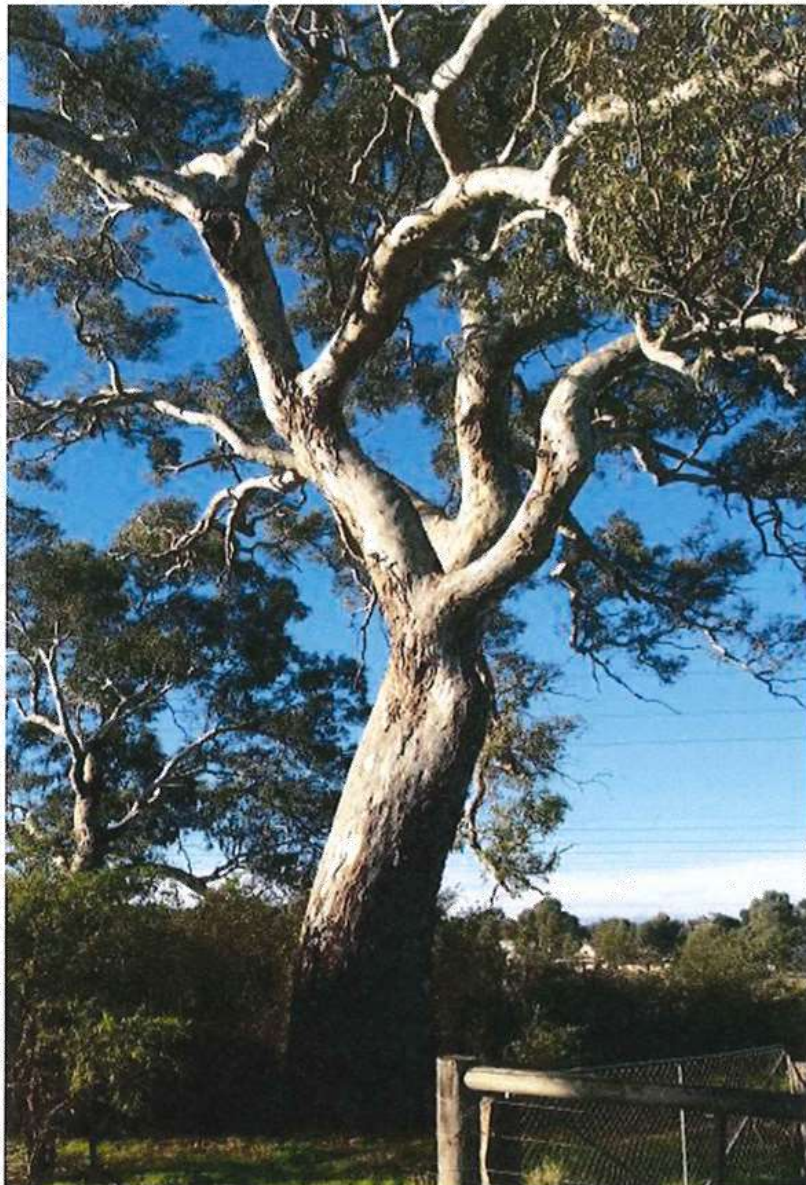
Tree 9





Tree 10





Tree 11



Tree 12





## PLANNING APPLICATION NO. 715996



**Subject Land**



**City of  
Whittlesea**

**ESTABLISHED AREAS PLANNING REPORT**

## PLANNING APPLICATION NO. 715996



Subject Land



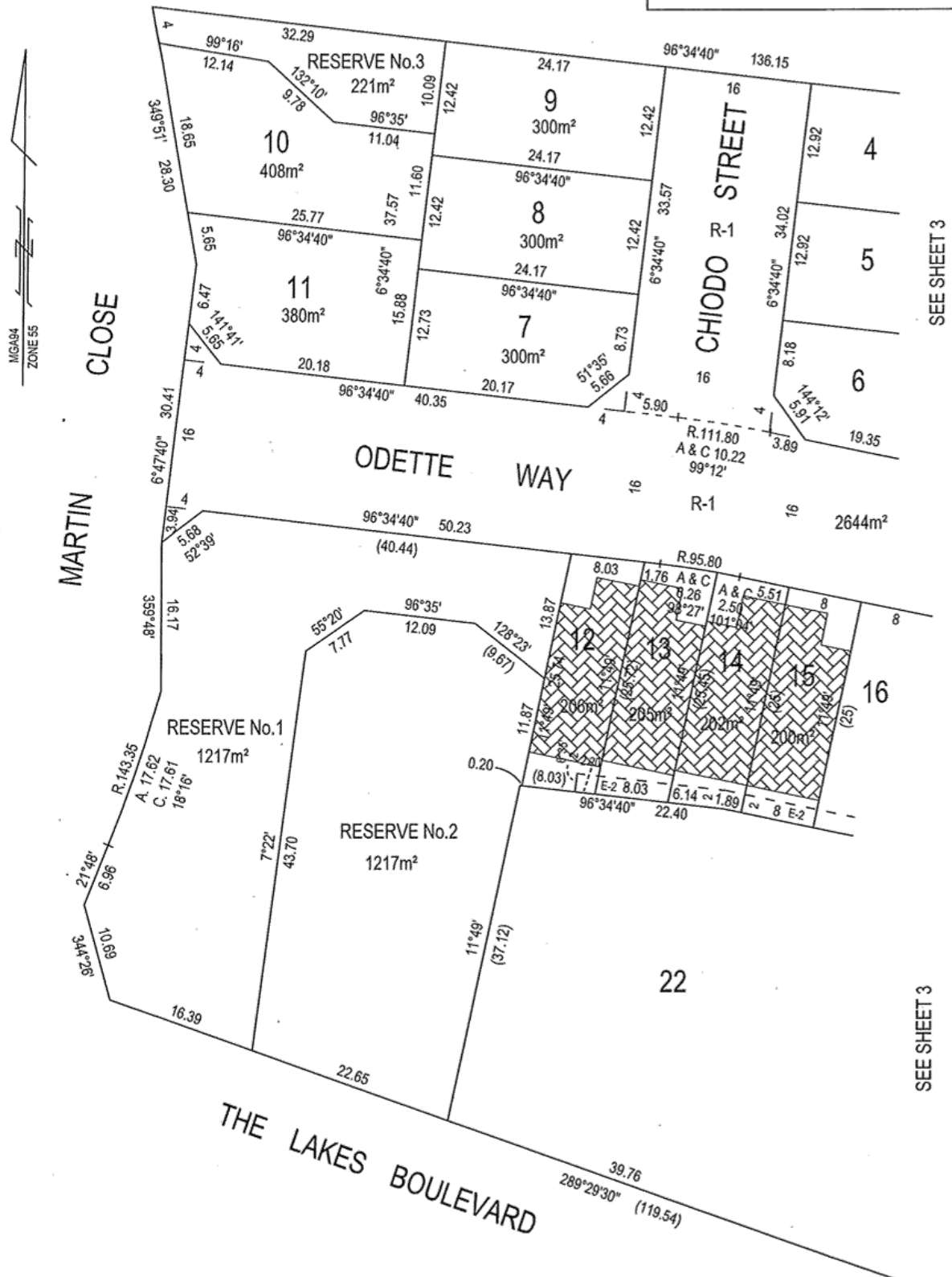
City of  
Whittlesea

ESTABLISHED AREAS PLANNING REPORT

PLAN OF SUBDIVISION			LV USE ONLY	PS 749418L
<b>LOCATION OF LAND</b> PARISH: MORANG TOWNSHIP: - SECTION: - CROWN ALLOTMENT: - CROWN PORTION: 11 (PART) TITLE REFERENCE: VOLUME xxxxx FOLIO xxx LAST PLAN REFERENCE: LOT x on PSxxxxxxx POSTAL ADDRESS: 283 THE LAKES BOULEVARD (at time of subdivision) SOUTH MORANG VIC 3752 MGA94 CO-ORDINATES E 330 860 ZONE: 55 (of approx. centre of land N 5 833 590 GDA 94 in plan)			WHITTLESEA CITY COUNCIL	
			NOTATIONS	
VESTING OF ROADS AND/OR RESERVES				
IDENTIFIER	COUNCIL/BODY/PERSON			
ROAD R-1	WHITTLESEA CITY COUNCIL			
RESERVE No.1	WHITTLESEA CITY COUNCIL			
RESERVE No.2	WHITTLESEA CITY COUNCIL			
RESERVE No.3	WHITTLESEA CITY COUNCIL			
NOTATIONS				
STAGING: THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No.: DEPTH LIMITATION: DOES NOT APPLY. THIS IS A SPEAR PLAN. SURVEY: THIS PLAN IS BASED ON SURVEY. THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s): IN PROCLAIMED SURVEY AREA No.: -				
EASEMENT INFORMATION				
LEGEND:	A - APPURTENANT EASEMENT	E - ENCUMBERING EASEMENT	R - ENCUMBERING EASEMENT (ROAD)	
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED/IN FAVOUR OF
E-1	SEWERAGE	2	INST AJ435846P	YARRA VALLEY WATER CORPORATION
E-2	DRAINAGE	SEE DIAG	THIS PLAN	WHITTLESEA CITY COUNCIL
TERRAIN CONSULTING GROUP PTY LTD 12 PARKHILL ROAD KEW VIC 3101 PH 9853 3352 FAX 9853 8907		SURVEYORS FILE REF: 15435  STEPHEN JOHN McCARTHY VERSION No.3		ORIGINAL SHEET SIZE: A3 SHEET 1 OF 3



PS 749418L



SEE SHEET 3

SEE SHEET 3

TERRAIN CONSULTING GROUP PTY LTD  
12 PARKHILL ROAD  
KEW VIC 3101  
PH 9853 3352 FAX 9853 8907  
SURVEYORS FILE REF: 15435

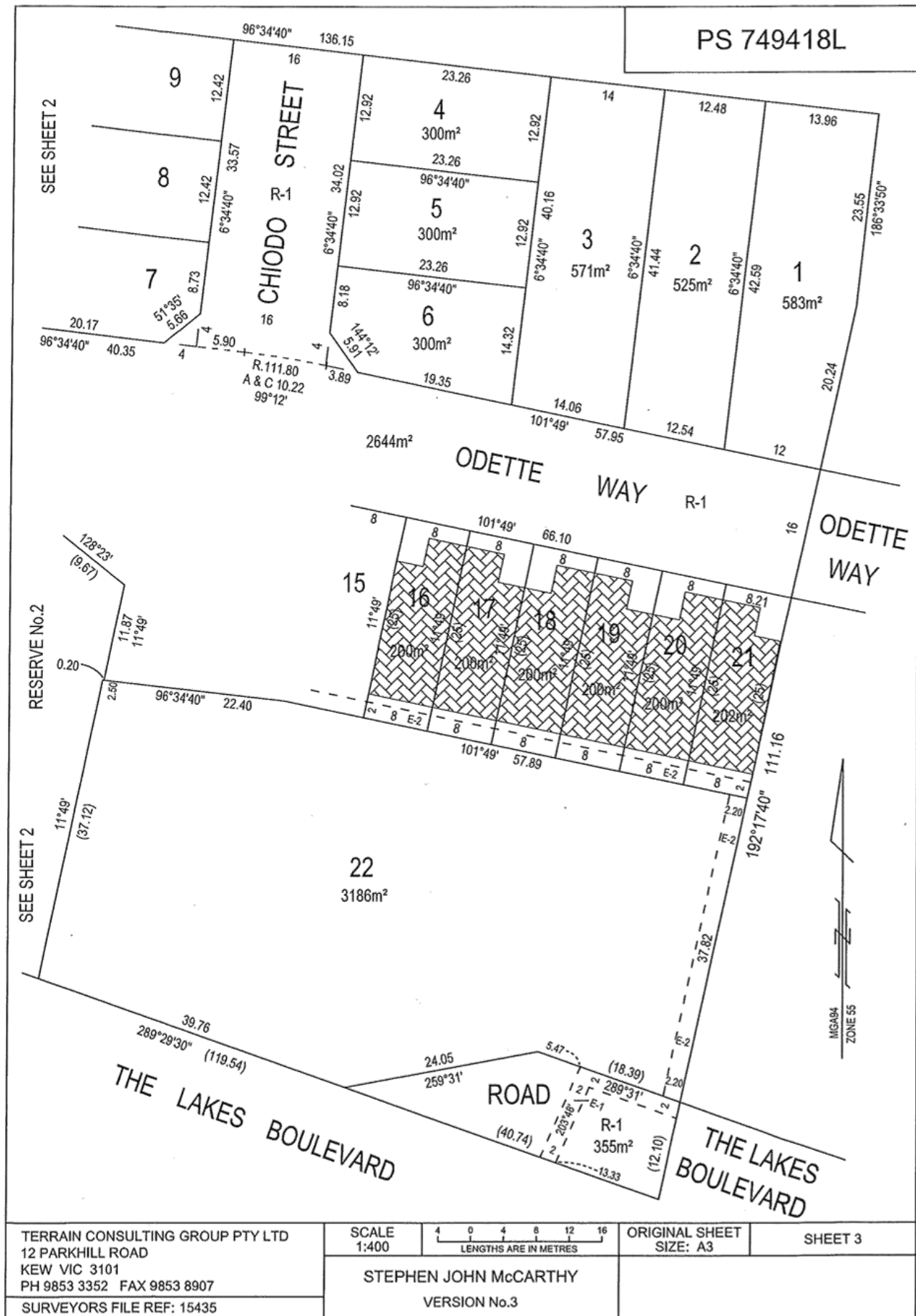
SCALE  
1:400

0 4 8 12 16  
LENGTHS ARE IN METRES

ORIGINAL SHEET  
SIZE: A3

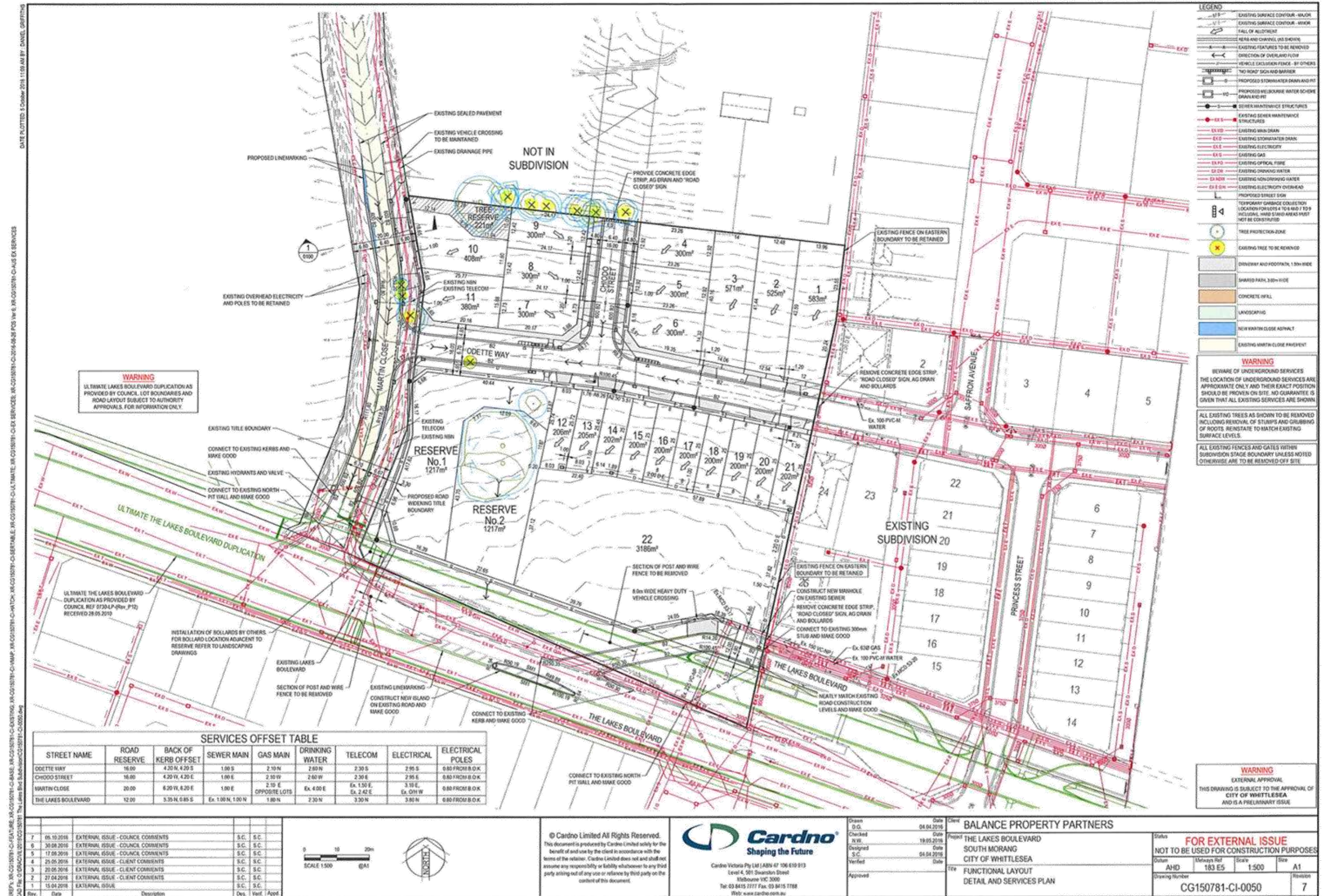
SHEET 2

STEPHEN JOHN MCCARTHY  
VERSION No.3











## Appendix 4 - Tree Nos. Plan

Medium Retention Value      Low Retention Value

Trees 8, 9, 10, 11, 12, 14, 15, 16, 17, 20, 22 & 25 are additional to plan - locations are indicative only.

All tree have been tagged and numbered on site

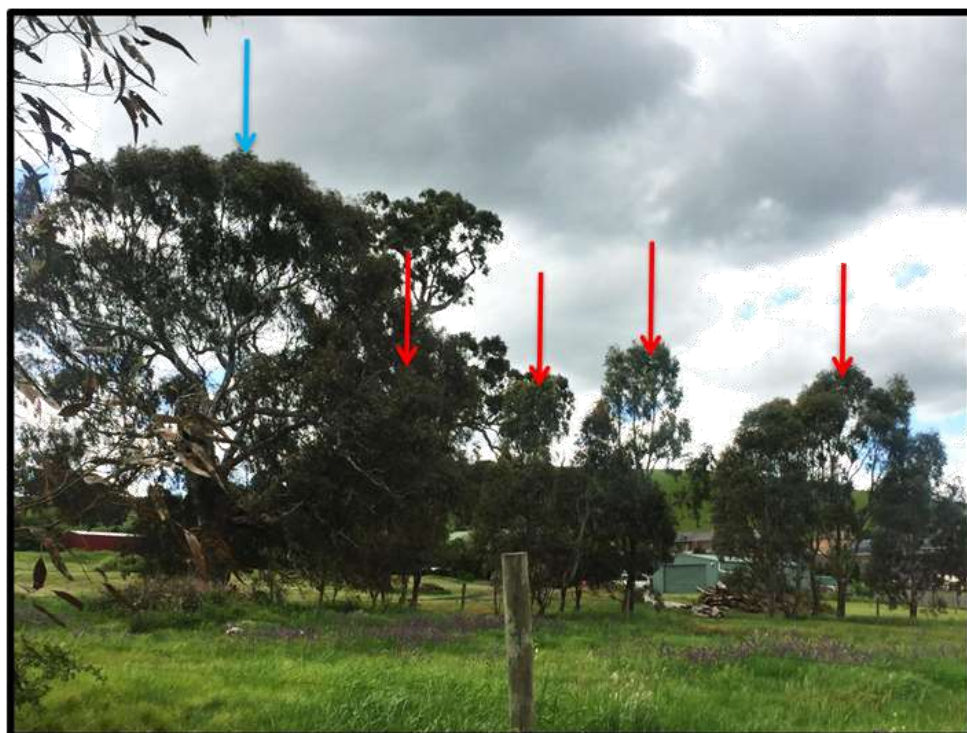


 <p><b>Piran Consulting Group</b> CONSULTING GROUP</p> <p>13 Farwell Road New York, NY 10019-1702 Tel: 212 361 3607 Fax: 212 361 3608 E-Mail: <a href="mailto:info@piranconsulting.com">info@piranconsulting.com</a></p>	<b>CERTIFICATION BY SURVEYOR</b>		<b>TITLE PARTICULARS:</b>		<b>PLAN:</b>		<b>PLAN OF PRELIMINARY SUBDIVISION</b>	<b>SHEET 1 OF 1</b>
	<p>I, <b>Surgeon John McCarthy</b> of <b>Piran Consulting Group P.C.</b>, Ltd. do hereby certify that the above information was obtained correctly and represents the information reflected by the facts such as indicated herein. Dated this <b>20th</b> day of <b>October</b> 2018.</p> <p>_____ Signature</p>		<p><b>OFF NO. 0000 FOL 000</b></p> <p><b>DATE OF SURVEY:</b> 30 September 2018</p> <p><b>AREA OF TITLE:</b> 1.9966</p> <p><b>CHARACTER:</b> A. Unknown</p> <p><b>SOURCE OF INFORMATION:</b> LAND REGISTRY</p>		<p><b>SCALE:</b> 1:400</p> <p><b>ORIGINAL SHEET:</b> A1</p> <p><b>ADDRESS:</b> 233 THE LAVES BOULEVARD, SOUTH HORWING</p> <p><b>MUNICIPALITY:</b> CITY OF WHITTLESEA</p> <p><b>PROJECT:</b> PROPOSED DEVELOPMENT</p> <p><b>RELAY REF:</b> 183 ES</p>			
<p><b>VERSION:</b> Issue 6</p> <p><b>REVISION DATE:</b> 12 August 2018</p>								





Trees to be removed (marked in red).



Trees to be removed (marked in red).

Tree to be retained in Reserve No. 3 (marked in blue)

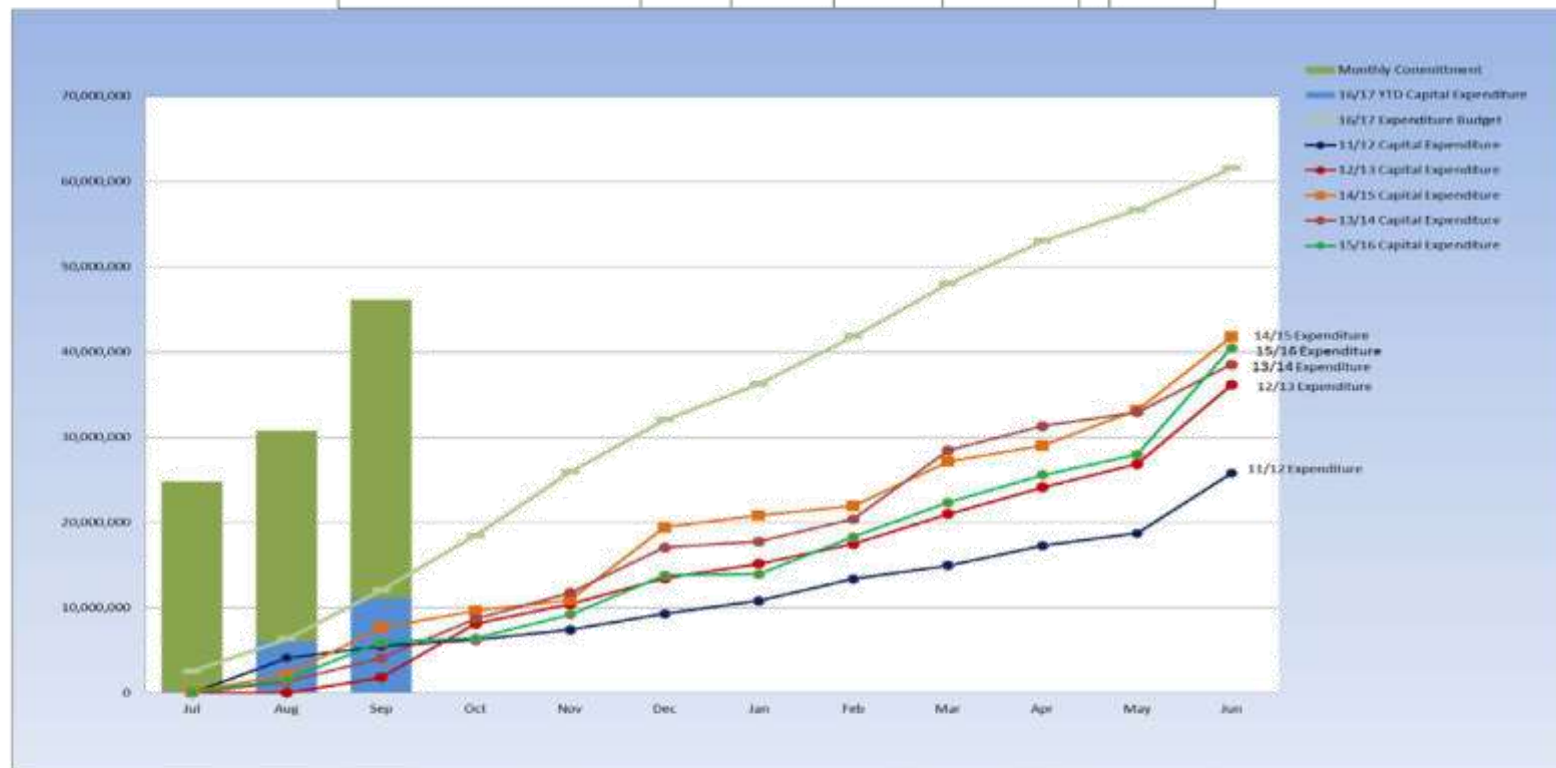




Trees to be retained in Reserve No. 2

## NEW WORKS PROGRAM - FINANCIAL PERFORMANCE - September 2016

New Works	Year to Date \$'000s				Full Year Budget \$'000s
	Budget	Actuals	Variance	Commitments	
Total New Works Program	12,035	11,134	901	34,917	61,600



The chart above provides a financial summary on the status of the New Works Program as at the end of September 2016. The value of work completed to the end of September is \$11,134,208 (blue column) with contracts and purchase orders committing another \$34,917,494 (green column). The green line indicates the accumulative budget for 2016/17 (The lines below show previous years' expenditure). This indicates that in 2016/17 the New Works Program has expended \$11.134m (18.07%) of the total Program budget to September 2016.





## Quarterly New Works Report For Council:

September 2016

Definition of New Works Traffic Light Status	
●	Significantly delayed and/or over project budget by more than 10% or \$50k, whichever is the greater.
●	On-track and proceeding.
●	Ahead of schedule and within project budget.

Project Name	YTD Actuals	YTD Budgets	Annual Budget	% Complete	Physical Status	Comments
<b>BUILDINGS</b>						
175. Disability Action Plan - Ongoing Program	1,297	0	100,000	5%	●	Tenders closed for Epping Depot All Abilities Access on Wednesday 28th September. Will be evaluated and awarded by mid October 2016.
177. Office Refurbishment and Alterations - Various Locations	14,026	25,000	380,000	5%	●	Ongoing office accommodation and relocation works inconjunction with the CC HVAC project and staff growth within all council office spaces.
240. Animal Welfare Facility	3,195,149	2,900,000	5,499,216	70%	●	Contract for construction awarded in December 2015 for the design and construction of the facility. Planning and building permit approved. Concrete slab and panel walls complete. External cladding and rough-in of services complete and building at lock-up stage. Completion of works scheduled for December 2016 and opening of facility planned for early 2017. A new service provider will be procured for the operation and management of the new facility.
484. Refurbish building - Wollert Hall	0	7,000	50,000	5%	●	Design Consultancy RFT to be drafted, Design Tender and detailed tender documentation for construction to follow second half of FY16/17. Construction completion planned for end FY17/18.
671. Ashley Park Community Activity Centre - (Mernda Precinct 2B)	18,351	32,810	1,716,226	5%	●	On 22 August Council leased a 7,532m2 parcel of land on the corner Patience and Orchard Roads, Doreen to the Ashley Park Trust for the peppercorn amount of \$104 per annum for 25 years. This land parcel has come to council as part of the endorsed Mernda Doreen Strategy Development Contribution Plan. In return the YMCA, through the Ashley Park Trust, are to build, own and operate and then transfer this centre back to council. □ □ Construction has now commenced with early ground works underway.
672. Hawkstowe Parade ELC (Mernda Precinct 5)-Mernda South PPP	650,000	0	600,000	80%	●	The Project is proceeding in accordance with the Construction Program with onsite works progressing well. Building is now at lock up stage and work is progressing on final internal fit out. □ □ Landscape works and car park sealing have commenced. □ □ All works expected to be completed by late November.
1010. Barry Road CAC - extension and refurbishment	469,000	717,000	3,352,874	25%	●	The building works are progressing well, with the concrete slab , steel and timber framing all completed. Roof works are currently in progress and the brickwork is almost complete. Works are on track to be completed at the end of March 2017, with handover in April 2017.
1207. Galada (Aurora) Community Activity Centre (Harvest HomeTown Centre)	5,060	10,000	120,000	5%	●	Design of kitchen and stakeholder engagement will commence are appointment of an Architect.
1271. Upgrade pavilion - RGC Cook Reserve	312,389	290,000	1,374,225	30%	●	Steel frame completed. Roofing 95% complete and brickwork commenced. Electrical upgrade works commenced and due for completion 29.09.16. Stakeholders informed of electrical upgrade works. Timeline delayed by 42 days due to latent conditions experience in the initial stages of the project and inclement weather. Completion date mid May 2016. Works progressing well.
1311. Woodland Waters Recreation Reserve Sports Pavilion - Mernda (Precinct 4)	0	31,139	31,139	95%	●	Project in Defects Liability. Contractor responding promptly to any defect issues that may be reported. Defect period due for finalisation end of September 2016.
1324. Construct pavilion and car park - Harvest Home Road soccer pitches	9,028	29,000	85,000	10%	●	Town Planning Permit Application lodged with supporting documentation and Metro Planning Levy Certificate. Permit being assessed and queries being addressed. Public advertising of the application to be arranged. Finalisation of construction documents to follow, along with Building Permit application.
1382. Mernda Recreation and Leisure Centre Construction	0	0	110,000	5%	●	Leisure and Community Facilities are currently preparing the consultants brief for the preparation of the feasibility study and business case.
1407. Jindi Family & Community Centre (Renaissance Rise)	0	3,000	20,000	95%	●	Facility is outside Defects Liability Period. No major operational issues to report.
1589. Redevelop Mill Park Leisure and Service Centre	107,421	107,000	1,041,158	10%	●	The design contract was awarded to Mantric Architecture in June 2016 with the schematic design work currently being undertaken on the building design, carpark design, landscaping, pool plant requirements, and cafe food requirements to name a few. □ A communications plan is currently being drafted by Advocacy & Communications. Upon completion of the schematic design process consultation will commence with the external stakeholders before being presented to Council.
1590. Epping Depot upgrade and refurbishment	0	0	876,176	5%	●	The soil store demolition and reconstruction contract will be awarded shortly. The car park reconfiguration contract will aim for November Council Meeting.
1616. Meadowglen Athletics Stadium - additional toilet facility	221	15,000	28,056	100%	●	Project in defects liability period. Paving works require rectification due to below standard workmanship. Rectification works being co-ordinated by the builder and landscape contractor. Defects period finalises December 2016.

Project Name	YTD Actuals	YTD Budgets	Annual Budget	% Complete	Physical Status	Comments
1701. Conversion of Janefield School Building into Community Facility - University Hill	0	0	392,486	5%	●	Concept design and specifications completed. RFT for detailed design & construction works to commence next quarter. Expected delivery mid-2017.
1849. Civic Precinct - HVAC and Refurbishment (Sustainable Climate Control Project Stage 1)	14,260	165,000	5,622,246	5%	●	Council approved the budget for the construction works for this project. □ Project to commence construction in late September for Stage 1 works.
1899. Mill Park Lakes Reserve - Pavilion Expansion and Upgrade	872,299	855,000	933,926	95%	●	Demolition, civil, foundation, concrete slabs works, all structural works and installation of wall and roofing components works have all been completed including construction of cool room. Internal flooring works, painting works and plumbing fit out works are in progress.
1914. Energy Efficiency Program - Various	87,165	90,000	292,469	25%	●	Preparation for eight mid-sized facilities to have solar PV installed. □ The Voltage Optimisation Unit at TRAC is now fully installed and operational, already showing clear electricity reduction.
1915. Refurbish building - Whittlesea Aquatic Facility	0	1,000	30,000	5%	●	Design Consultancy Services Tender stage, on track with timeline.
1917. Korin Korin Children & Family Centre (Champions Pde), Epping Nth	47,486	100,000	115,000	50%	●	Minor new works to be completed by end 2nd quarter 2017/18 FY. Defects liability period ongoing to Feb 2017, including the fit off of the telecommunications cabling ready for Telstra to connect new numbers for CPS.
1919. Leased Building/Property Renewal Program - Various	0	15,000	100,000	10%	●	The auditing component of the Property Renewal Program Consultant awarded to Macutex Pty Ltd. Works were completed 31 August 2016. □ □ Project Working Group now developing a program of works for implementation. Works expected to undertaken in Q3 and 4.
1920. Implementation of Signage Management Plan - Various	2,940	0	100,000	5%	●	The Signage Management Plan is currently being revised in line with feedback received at Council Forum in April 2016. As agreed in April, the revised draft will be re-presented to Council Forum late in 2016 or early in 2017. Forecast spend this calendar year is for work to finalise the plan. It is anticipated that the rollout of new and replacement Council signage will commence in March/April 2017.
1923. Planned Renewal Projects (incl. Minor New Works)	20,000	0	200,000	5%	●	List of community projects identified. All \$200,000 project budget allocated to works in 2016/17
2053. Sycamore BMX Facility Improvement - Sycamore Reserve, Mill Park	0	0	200,000	5%	●	At a recent PCG meeting, it was agreed the pavilion design should proceed, after a brief revisit of the functional brief, mainly to assess whether showers are needed and participant numbers. The works will be then be re-rendered out to market.
2056. Epping Services Hub - Upgrade of 713 High Street Epping	61,743	7,000	225,542	10%	●	RFT for the construction of sewer works will be closing on 12th October 2016 and the works likely to commence in early 2017.
2057. Peter Lalor Secondary College Redevelopment	0	0	200,000	5%	●	Project Brief completed. Project Planning and scope confirmation activities concluded. Consultant's RFT & Design Brief completed. Design tender submissions being requested.
2060. Refurbish Harbard Street Kindergarten	0	0	30,000	100%	●	The works has been completed. But will await DET assessment for higher kindergarten patron capacity.
2109. 3 Phase Power (Design) – Civic Centre	302	0	70,000	5%	●	Tender awarded to McCormacks Property Services. Works to commence mid April. Installation delayed as events booked for the area did not allow enough time for the works to be completed. Approval and direction given through the Mayors office.
2123. Thomastown Library Refurbishment	123,425	123,270	133,270	100%	●	The refurbishment works have successfully been completed and the Library reopened to the public on 22nd August 2016. The project is now currently in defects liability period.
2150. New external access door to Huskisson Reserve Pavilion Toilet	0	0	15,000	0%	●	Awaiting detailed project description. Works to be allocated to a projects officer at the end of October 2016.
2151. Ziebell's Farmhouse - Fire Detection Alarms	0	0	50,000	0%	●	Design to progress in October.
2158. Epping Recreation Reserve – Tennis club room upgrade	0	0	30,000	0%	●	Design to progress in October.
2162. Extension of verandah - Epping Memorial Hall	0	0	5,000	0%	●	Verandah has been installed. It will be painted in the next 2 weeks (by mid October). Slightly over budget.
2164. Portable buildings for female change rooms - Sycamore Reserve	0	5,000	50,000	0%	●	Project and Functional brief drafted for review and endorsement.
2165. Cool room - Mill Park Lakes Reserve Pavilion	0	10,000	30,000	100%	●	Cool room has been installed as per the requirements and has been taken care as part of the main contract (2015-203), PID 1899.
<b>Total BUILDINGS</b>	<b>6,011,562</b>	<b>5,538,219</b>	<b>24,209,009</b>			
<b>DRAINS</b>						
1064. Drainage improvement works	50,500	50,000	50,000	100%	●	Drainage systems at Bassets Road / Cookes Road intersection, Doreen and 105 Janefield Drive, Bundoora have been upgraded.
1802. Hillcroft Estate Drainage Issues	0	0	47,500	5%	●	Section 173 Agreement has been updated as per consultation with Property Owner, however further discussions required regarding compensation.
1884. Queenscliff Road and Michigan Terrace intersection drainage issue	0	0	1,200,000	5%	●	Preparation of tender documentation scheduled for late October.
1904. Construct end of pipe treatments - Darebin Creek	0	0	50,000	5%	●	Cultural Heritage Management Plan (CMHP) Tender evaluation for Catchments A, C D & E in progress.
2147. Depot Fuel Facility Environmental Improvements	0	0	56,000	0%	●	Works have been scoped and will commence in the last quarter of the 2016/17 financial year.
<b>Total DRAINS</b>	<b>50,500</b>	<b>50,000</b>	<b>1,403,500</b>			
<b>FEASIBILITY &amp; PLANNING</b>						
1847. Planning and Feasibility Studies for Future Projects	10,820	40,000	300,000	10%	●	The project planning undertaken under this budget allocation allows for the conduct □ of due diligence investigations to ensure the project is in a better position for delivery □ when budget allocations are made in the forward New Works Program. □ □ Identified works are proceeding in accordance with the endorsed Program timelines.



Project Name	YTD Actuals	YTD Budgets	Annual Budget	% Complete	Physical Status	Comments
<b>Total FEASIBILITY &amp; PLANNING</b>	<b>10,820</b>	<b>40,000</b>	<b>300,000</b>			
<b>OPEN SPACE</b>						
2. Upgrade open space - Implement Sportsfield Strategy	705,383	1,000,000	1,285,000	90%	●	Mill Park Lakes Synthetic Oval redevelopment project handover scheduled for 27 September. No confirmation of 16 /17 Project details at this stage.
118. Renewal of playgrounds and general landscape improvements	212,678	200,000	1,606,251	15%	●	All park and playground renewal projects from the 2015/16 program are complete and open to the public. Main Street Rec Reserve, Thomastown, Victoria Dr Park, Thomastown, Wenden Drive Park, Mill Park and Kalara Close Park, Lalor are in the final week of Detail Design with projects set for RFT in second week of October . Community consultation for all four parks is complete.
252. Street tree renewal - Ongoing Program	0	0	300,000	5%	●	2016 / 2017 program consultation will commence after Council caretaker period. Tree supply contract RFT will be sent week ending 7 Oct 2016. □ Tree removal procurement completed.
405. Develop landscape - Whittlesea Gardens	0	0	50,000	5%	●	Project issued for tender to Landscape Architects. Tenders close 5th October.
408. Develop landscape - Quarry Hills Park	0	0	160,000	5%	●	Detailed design works and consultation phase to commence after caretaker period and endorsement of the Quarry Hills Master Plan.
413. General landscape improvements - Neighbourhood Parks	98,715	206,366	206,366	15%	●	All park and playground renewal projects from the 2015/16 program are complete and open to the public. Main Street Rec Reserve, Thomastown, Victoria Dr Park, Thomastown, Wenden Drive Park, Mill Park and Kalara Close Park, Lalor are in the final week of Detail Design with projects set for RFT in second week of October . Community consultation for all four parks is completed
632. Skate Parks - Growth Areas	0	0	20,000	5%	●	2016/17 is design only, with construction in 2017/18. Design contract currently at tender, closing date for submissions is 5 Oct. Design to commence following award of tender
696. Construct playing fields and pavilion - Lalor West Reserve (Mosaic)	8,131	0	200,000	5%	●	The request for tender for Design services is currently out to tender and will close on the 21st September 2016. The Tender evaluation process will begin immediately after the tender closes and aiming to award the contract during November 2016 Council meeting. □ Project Governance Framework has been reviewed and signed off by the Stakeholders. □ Tender Probity and Evaluation Plan has been approved.
703. Construct Community Facility - Doreen South Reserve (cnr of Eminence Boulevard and Painted Hills Road)	22,818	1,000	200,000	5%	●	Tender evaluation commenced 23 September 2016 - Phase 1 completed. Phase 2 commenced - due for completion early October 2016. Phase 3 - tender interviews and reference checks likely to commence late October 2016. Design services due for award at Council meeting in November 2016.
879. Thomastown Recreation & Aquatic Centre - outdoor playspace	0	87,360	87,360	5%	●	Works on hold until favourable weather conditions. Aiming for completion prior to first weekend in November.
1142. Upgrade tennis courts and pavilion - TH Hurrey Reserve	55,678	40,000	1,500,000	10%	●	Project Design progressing well. □ Main Contract #1 (Courts, car park, landscape) approx. 80% Complete □ Pavilion Design Contract #2 - approx. 70% Complete □ Tender Package expected in late Oct. □ Expected Construction of Stage 1 works in March, 2017
1312. Sportsfields - Laurimar	2,900	24,880	24,880	100%	●	Car parking landscaping works complete.
1473. Construction of two tennis courts - Mill Park Lakes CAC	0	0	200,000	0%	●	Project is not proceeding as grant funding was not successful.
1561. Landscape development balance of site - Hillview Recreation Reserve	0	0	437,100	5%	●	2016-17 is for Stage 2 works comprising concrete shared paths, ball catching fence and landscaping. Concrete shared paths have been awarded and works will commence Nov/Dec. Ball catching fence has been awarded and works will commence Oct. Landscaping is currently at tender, and submissions close 5 Oct with works to be undertaken Dec/Jan/Feb.
1563. Upgrade Coaches Boxes - Various Locations	0	0	55,000	5%	●	Tender awarded, works scheduled for late October
1564. Cricket Practice Net Upgrade (various locations)	9,097	10,000	200,000	5%	●	At tender, submissions close 12 Oct. Works scheduled for Jan/Feb/Mar 2017
1627. Upgrade tennis courts and pavilion - Lalor Tennis Club	381,905	636,000	1,697,171	15%	●	The pavilion portion of this project PID shall be completed by the next quarter with landscaping works to progress with thereafter.
1636. Course improvement works-Growing Frog	0	0	100,000	0%	●	2016/17 works determined and order raised. Waiting for course to dry out before works can commence.
1717. Establishment of additional dog off leash areas - Various Locations	0	0	55,000	0%	●	Works anticipated for early 2017
1834. Cricket Wickets Upgrade (various locations)	28,000	0	55,000	50%	●	Works in progress
1938. Woodland Waters Sportsfields Stormwater Harvesting Project	3,040	0	23,270	0%	●	Investigations /cost benefit analysis complete and reported to Open Space Project Board in Jul. Concept design deemed not feasible. Negotiations underway with Melb Water regarding expenditure of remaing funding for alternative stormwater investigations
1939. Playground McMillan Run	4,449	13,166	13,166	100%	●	Construction works complete. Project is in maintenance period.
2052. Sycamore BMX Track Development	0	0	300,000	0%	●	The construction of the track will be tendered out to around 5 potential tenderers with previous experience in track construction, Dirtz, included. Madill's steel fabricators as recommended by Dirtz were approached to provide quotations for the refurbishment of the automatic start gate, these works will be carried out ASAP.
2054. Vehicle Exclusion Fencing	0	0	50,000	0%	●	Vehicle Exclusion Fencing works to Bradman Terrace, South Morang (Stage 1 and 3) have been awarded. Waiting on return of signed LOA. Works to begin ASAP (possible 8 week lead time for materials)
2067. Renewal of track - Meadowglen Athletics Reserve	13,575	0	1,003,470	5%	●	The Tender for the replacement of the track was awarded in August 2016 with the works to be undertaken between October 2016 and February 2017.
2068. Doreen Recreation Reserve Master Plan	0	0	50,000	0%	●	Project works scope and consultants brief prepared for Detail Design.



Project Name	YTD Actuals	YTD Budgets	Annual Budget	% Complete	Physical Status	Comments
2115. Sports Lighting Upgrades - Various Sites	0	10,000	220,000	5%	●	Project Scope and requirements confirmed. Site investigation and design for Main Street Reserve is underway. Design is anticipated for completion early November. Documents to be issued for tender straight away.
2119. Street Light bulk replacement program - various locations	0	0	300,000	0%	●	Project planning underway for 37W StreetLED to replace higher-output mercury vapour lights, and VLED-109 (to replace sodium lights. StreetLEDs scheduled for installation early 2017; VLEDs installation scheduled to commence in 2017/18 with planning and procurement processes starting now.
2125. Huskisson Recreation Reserve Master Plan	0	0	50,000	5%	●	Project works scope and consultants brief prepared. Community Consultation carried out in September with public.
2145. Norris Bank Reserve Master Plan Development (as part of the Open Space Strategy Implementation)	0	0	50,000	5%	●	Project works scope and consultants brief prepared. Request for Tender issue – closes 5th October
2146. A.F. Walker Reserve Sportsfield Lighting	11,931	0	200,000	5%	●	Tenders for Sports Ground Lighting have been recieved and evaluation has begun. Anticipated tender award will be mid October. □ Cricket wicket relocation is underway. anticipated completion mid october.
2148. Half Court Basketball Court in University Hill	0	0	75,000	5%	●	Conformation of project scope and governance agreement received form Nillumbik Council. Detail design underway with construction anticipated to commence in November 2016.
2149. Scoreboard for Main Street Reserve Thomastown	0	0	35,000	0%	●	This project will be completed in conjunction with the lighting controls and lighting upgrade project.
2152. Playground Upgrade - Botanica Park	0	20,000	310,000	0%	●	Project brief completed and signed. Consultant's brief prepared and scheduled for tendering in October/November 2016.
2153. Waterview Reserve – Additional Shelter	0	7,625	50,000	0%	●	Stakeholder meeting with Architect held on the 7th September 2016. Received concept design and preliminary cost. Additional southern shelter has been requested by stakeholders and which has resulted in an increase in design services/costs.
2154. Sycamore Reserve – Temporary lighting	0	0	30,000	0%	●	Meeting held on site with club. Scope has been defined and quote obtained.
2155. Butcher Bird Reserve Playground	30,214	0	50,000	100%	●	Works complete, maintenance period in progress
2156. Norris Bank Reserve - Hot Shot Courts	0	0	90,000	5%	●	Project Brief in process of being prepared. Preliminary project scoping and discussion with Club have been held. Project will feed into the Norris Bank Reserve Master Plan (2016/17).
2157. West Lalor Tennis Club (Huskisson) – New Sports Lighting	0	0	85,000	0%	●	Project currently being planned with internal and external stakeholders.
2161. Mesh fencing around the Cricket ground - Leslie Street Reserve	0	0	30,000	0%	●	Project being planned
2163. Ball catching fencing - HR Uren Recreation Reserve	0	0	10,000	0%	●	Scoping and enquiries around sufficient budget are being undertaken.
<b>Total OPEN SPACE</b>	<b>1,588,516</b>	<b>2,256,397</b>	<b>11,464,034</b>			
<b>OTHER</b>						
2142. 480 Cooper Street - Fire main	0	7,000	300,000	0%	●	Design Consultancy Services Tender and detailed design tender documentation to follow with the aim for construction to be completed by end FY16/17.
<b>Total OTHER</b>	<b>0</b>	<b>7,000</b>	<b>300,000</b>			
<b>PLANT &amp; EQUIPMENT</b>						
104. Replacement of Council fleet - Ongoing Program	641,167	580,000	2,338,000	25%	●	Project on track for 2016/17 financial year
106. Furniture and equipment purchases	14,557	15,000	60,000	25%	●	Purchases made to provide furniture for OH&S requirements. Supply of new furniture to replace existing due to wear and tear.
225. IT - Various computer system hardware and other IT equipment	16,869	10,000	85,000	20%	●	The commitments relate to a number of iPhone orders that have been placed for staff. We are upgrading a number of older phones as the mobile network no longer supports 2G. We are also waiting on a number of invoices as the goods have arrived.
241. Acquisition of Visual Art - Civic Centre	0	0	10,000	0%	●	Preparation is underway for the development of the Arts Acquisition Advisory Group. Project on track.
369. Furniture and fittings for halls and CACs - Various Locations	100	0	65,000	5%	●	Waiting delivery of chairs for Thomastown Library, expected delivery mid October. Proposed purchases for next quarter Lalor Library Community Space tables. Epping Meoiral Hall, Mernda Villages CAC, Laurimar Community Centre, French Street Hall and May Road Seniors Centre. Furniture in final quarter to be allocated to RGC Cook Pavilion.
419. Management of the Public Art Collection	0	11,181	50,181	50%	●	Contract completed successfully. Final invoices sent for processing. □ Scoping is underway for next public art project as per recommendations in the Epping Central Public Art Masterplan.
1281. IT - Councillor IT Equipment Replacement	621	0	55,000	5%	●	Orders have been placed for the changeover in Councillor equipment. the items include: □ 11 x Dell 14" Notebooks □ 11 x iPad Pro □ 11 x iPhone 6 □ The printers have not yet been ordered.
1874. IT - ICT Infrastructure Asset Program	0	0	115,000	5%	●	Currently obtaining quotes for the purchase of a new core switch required for the HVAC works.
1877. IT - Mobility	17,084	40,000	129,794	15%	●	MS Surface being rolled out to ELT. Currently 7 devices supplied and 3 more being setup. Obtaining quotes for more devices. Trial of electronically annotating ELT papers is successful.
1881. IT - Meeting Room IT Improvements	0	0	10,000	0%	●	Commencing to further trial smaller PCs in meeting rooms. No funds required at the moment as current stock is being used.
1943. IT - Aged Care Rostering	9,584	30,000	134,510	5%	●	Roll out of software to commence in 2017

Project Name	YTD Actuals	YTD Budgets	Annual Budget	% Complete	Physical Status	Comments
1944. IT - HRIS Review	89,164	3,600	413,986	75%	●	Over the last quarter, the team completed user acceptance testing, undertook the final dataload from Authority into Aurion, completed two full payroll parallel test runs, continued with staff communication activities, developed staff training materials for the iConnect employee portal and achieved the fourth and final milestone of Phase 1 of the project with Payroll processing their first live payrun in Aurion for the period 3rd - 16th September.
1945. IT - Online GIS	0	0	75,000	5%	●	Have sourced an GIS solution to support the new Council web site, this will provide details to the public on nearby activities, currently being implemented. □
1946. IT - SharePoint/PROV	0	0	79,631	5%	●	The current SharePoint 2016 upgrade is underway to determine what level of PROV standard is met. A Systems Register has also been developed and this is being reviewed to determine the level of PROV standard of these systems. Currently reviewing solutions which can meet VERS compliance as a plug into SharePoint. Demonstration are being organised.
1947. IT - SharePoint Integration	0	0	35,000	5%	●	Civica has commenced work on a prototype of the first stage of the development. Have requested technical specification and changes that are required from Civica as we need to make some changes to SharePoint for the work to continue. No funds have been required for the development of the prototype.
1949. Lalor Business ID Sign	0	0	62,600	5%	●	Sign is located on VicTrack land and approval has been received. □ Approval process from Metro trains has also been received following a 12 month process. □ Lalor Trader Association has agreed to part fund sign and will take over future operation and maintenance responsibilities. □ Final Structural Drawings being prepared prior to fabrication of sign.
1950. Gateway Signage - Lalor & Thomastown	0	0	15,000	0%	●	Project is on hold until the Signage Management Plan is endorsed. It is anticipated that the Signage Management Plan will be endorsed early in 2016 and this project can then be delivered.
2003. IT - MCH and Remote Network Links (Radio and Microwave)	0	10,000	100,000	5%	●	Two non Radio Mast (using ADSL and SIM) test sites have been established. Bundoora and Greenbrook to test the speed and reliability of potential new technology sets. Working with Oak Telecom to establish an MPLS network for further testing. Site / Maintenance works are being coordinated by FM for maintenance and repairs to our existing sites, this should occur in October.
2035. IT - Telephone System BCP and Renewal	0	0	25,000	5%	●	Have met with Telstra and are awaiting a meeting to discuss the options available to implement SIP technology.
2110. IT - Health Systems and Mobile Application	0	0	100,000	5%	●	A draft EOI and TPEP has been written and is currently being reviewed. It is planned that this will be released in October with a shortlist to be determined by mid December.
2111. IT - MCH Statewide Application	0	0	60,000	5%	●	Met with the MAV in September, they have advised that the test site Wodonga is now live. The MAV is to call a meeting of all Xpedite customers to review the status of the project. The MAV indicated that no new site may be started until April 2017. Clarity on this has been requested and expected at the meeting that is proposed.
2112. IT - Smartphones for MCH Centres	0	10,000	49,000	5%	●	Approval has been sought for the purchase of smartphones for the Enhanced MCH nurses. Cost is \$8,000. Awaiting approval to proceed with the purchase.
2113. IT - PC Replacement	22,800	25,000	25,000	90%	●	Have purchased 20 PCs as part of this budget allocation to allow for new staff, replacement PCs and other allocations of equipment.
2141. EPMO System Implementation	0	0	150,000	10%	●	The Tender Evaluation Panel has finished the three phases of tender assessment. □ A Council Report was tabled at the September 20 Council Meeting which was approved and was the final stage of approval prior to contract negotiation. Project is on-track.
<b>Total PLANT &amp; EQUIPMENT</b>	<b>811,945</b>	<b>734,781</b>	<b>4,242,702</b>			

## ROADS &amp; PATHS

76. Local road resurfacing works - Ongoing Program	26,899	30,000	2,000,000	5%	●	Pre-planning and scoping works complete. Construction scheduled to commence in mid-October.
77. Local road reconstruction/rehabilitation	391,508	300,000	2,000,000	10%	●	Road rehabilitation works have commenced in Lalor and Thomastown, with an anticipated completion date of December 2016.
361. Car Park rehabilitation - various	0	0	60,000	0%	●	Lalor Football Club carpark will be rehabilitated. Project commencement anticipated in late October.
450. Scott Street Beautification works	0	0	300,000	5%	●	Detailed design complete, with construction to commence following tender evaluation approval.
813. Road Safety Improvements - Install roundabout at Hurlstone Crescent	0	0	150,000	0%	●	Project on hold until PIDs 1986 and 1987 are complete, and a new report is sent to Council.
1113. Bicycle facilities - provide new on-road & off-road paths	5,267	14,000	114,000	5%	●	Detailed design drawings currently under peer review. Request for construction quotations to follow thereafter.
1258. Upgrade disabled parking bays to DDA requirements - Various locations - DDA Works	1,631	0	35,000	5%	●	Upgrade sites selected and concept designs finalised. One detailed design completed, with costs to be invoiced shortly. Requesting quotations currently in preparation of awarding works.
1265. Kerb Ramp DDA Upgrades	45,460	40,000	40,000	100%	●	2016/17 Program of Works for kerb ramp upgrades completed, with invoices paid. Tactile audit testing to commence shortly.
1592. Part constructed roads improvements	0	0	100,000	5%	●	Concept designs for all foot and shared paths complete. Currently out to tender for the detailed design of all projects.
1641. Church Street Shopping Strip Redevelopment	0	0	37,640	100%	●	All contracted works complete. Head contractor undertaking minor defects works.
1672. Provide kerb and channel and drainage - both sides of Laurel Street - Forest Street to Whittlesea CAC	0	3,000	3,000	5%	●	Preliminary Cultural Heritage Management Plan (CHMP) Test in progress.
1789. Safe Routes to Schools	0	0	25,000	5%	●	Scoping and pre-planning commenced. □ □ It has been determined that additional funds will be required to be offset from other Transport Engineering accounts.



Project Name	YTD Actuals	YTD Budgets	Annual Budget	% Complete	Physical Status	Comments
1809. Urbanise Road - McKimmies Road - Darebin Creek to Garden Grove Drive	706,429	879,881	879,881	95%	●	Civil works completed, with minor landscaping reinstatement outstanding.
1812. Upgrade shared path - Darebin Creek - Metropolitan Ring Road to Findon Road	206,242	170,000	1,356,675	10%	●	Construction works for Stage 3 and Stages 4-8 have been awarded, however due to adverse weather the works have been postponed.
1815. Bundoora Shopping Centre Upgrade	0	25,000	200,115	5%	●	Construction contract has been awarded. Construction to commence on 3rd October and to be completed by early November.
1841. Thomastown-Lalor Masterplan Streetscape improvements	8,005	8,050	64,544	5%	●	Consultant Brief to be prepared and awarded before end of Dec. 2016. □ Urban Design Consultant to prepare concept layout for Thomastown Activity Centre in New Year.
1867. Footpath Widening north side of Henderson's Road Bridge	0	0	65,837	95%	●	Works 95% complete. Awaiting installation of handrail on south side of Hendersons Road and some minor nature strip reinstatement.
1875. Construct Road - Regent Street - Sackville Street to Grafton Street	0	10,000	400,000	5%	●	Design in progress. Tender and award of construction contract are planned for the 4th Qtr as this project is partially funded in 2017/18.
1896. Retail Activity Centres - Streetscape Condition Audit & Improvements - Various Locations	0	0	100,000	10%	●	Consultancy Services for Streetscape Condition Audit - Retail Activity Centres awarded to Land Design Partnership Pty Ltd. □ □ The audit principles developed will be aimed at identifying the specific opportunities, issues, strengths and weaknesses of each of the identified centre. Audit works have commenced and expected to be completed by end November 2016.
1951. Construct shared path - Bush Boulevard - Plenty Road to Westfield Shopping Centre	815	5,000	20,000	5%	●	Level and feature survey complete. Concept Design in progress.
1956. Construct shared path - McDonalds Road (north side) - Darebin Creek to Civic Drive	0	10,000	35,000	5%	●	Level and feature survey complete. Concept Design in progress.
1959. Construct shared path - Yan Yean Pipe Track - Gordons Road to Hawkstowe Parade	25,440	30,200	125,000	15%	●	Construction of Stage 2 complete. Construction of Stage 3 postponed until area can dry out and allow truck access. Construction will be carried out in early October 2016.
1968. Construction of 2 lane undivided road and roundabout - Brush Road	500	0	850,000	5%	●	Currently within the construction tender submission period, with evaluation to follow thereafter.
1992. Construct shared path - Plenty Road (west side) - McKimmies Drive to Weathiland Drive	0	30,000	324,500	5%	●	Design in progress. Awaiting confirmation of VicRoads business case for Plenty Road upgrade before works commence.
2072. Streetscape improvements program - Lalor High Street Shops (Thomastown and Lalor Masterplan)	0	10,000	316,480	5%	●	Site Improvement Plan prepared for Lalor Shopping Centre and reported to Council Forum in July 2016 for endorsement and submission to the Growing Suburbs Fund. Request by Council to broaden scope of Improvement works. Review of submission to IGF underway.
2075. Black Spot - Yan Yean Road/Jorgensen Road intersection	27,027	57,000	973,750	2%	●	Construction works placed on hold pending the outcome of a funding issue with VicRoads. Artwork relocation in progress.
2077. Streetscape improvements program - Thomastown High Street Shops (Thomastown and Lalor Masterplan)	0	0	200,000	2%	●	A governance plan will be updated for project implementation since brief sign off. A tender will be issued for the masterplanning of Thomastown similar to Lalor shops. Council was approached by VicRoads to put in a submission for Thomastown to reduce road traffic trauma (SSRIP), through speed limit reduction and other traffic calming measures.
2078. Traffic signals - Yan Yean Road/Cookes Road intersection	13,418	150,000	906,051	5%	●	Electrical and civil designs under peer review, with construction works to follow.
2105. Laurimar Estate Road Resurfacing – Upgrade Spray Seal	456,893	400,000	400,000	100%	●	2016/17 Program of Works complete.
2114. Missing Footpath Links Program	0	0	600,000	2%	●	Alignments of foot and shared paths finalised, with Request for Tender for civil designs prepared. Currently within the tender submission period.
2116. Findon Road Bridge across Darebin creek - concrete deck overlay	0	0	280,000	0%	●	Preparation for public tender of construction works will commence in late October.
2121. Epping Central DCP Implementation - Streetscape improvement works - Coulstock Street and High Street	0	0	100,000	0%	●	Brief being prepared for design consultant.
2124. Construct Concrete Deck Overlay - Findon Road Bridge - Findon Creek	0	0	265,000	0%	●	Public tender preparation to commence in late October.
2137. Construct roundabout - intersection Rockfield Street and Redding Rise	0	0	250,000	0%	●	Detailed design nearing completion. Preparation of Bill of Quantities (BOQ) and construction tender documents to follow.
2159. Construction of footpath connecting to 100 Gorge Road	0	1,000	50,000	5%	●	Detailed design complete. Construction tender awarded, and awaiting Traffic Management Plan (TMP) approval from VicRoads to commence works.
2166. Additional Parking - Lalor	0	5,000	107,000	5%	●	Concept design complete. Community consultation in progress, with works scheduled to commence in December 2016 / January 2017.
<b>Total ROADS &amp; PATHS</b>	<b>1,915,532</b>	<b>2,178,131</b>	<b>13,734,473</b>			

**TRANSPORT**

304. LATM Schemes various treatments	78,745	80,245	400,000	15%	●	Bus stops and shared path construction completed. □ □ Review of community response on DRAFT TMP completed. Further consultation required, to be undertaken after the caretaker period. □ □ Design of roundabouts underway.
439. Improve disability access (DDA) to public transport	0	0	60,000	5%	●	Upgrade sites selected and concept designs finalised. Currently requesting quotations in preparation of awarding works.
443. Traffic control devices - un-programmed works	2,773	110,000	235,000	5%	●	Number of Work Orders raised for reactive works. □ □ Proactive design work progressing, with quotations for programmed works being sourced.
445. Collector Road traffic management - Various locations	16,753	30,000	140,000	0%	●	Traffic investigation for Barry Road Thomastown, Great Brome Avenue Epping, Gordons Road South Morang, Mernda Village Drive Mernda and Redleap Drive Mill Park to commence in November.



Project Name	YTD Actuals	YTD Budgets	Annual Budget	% Complete	Physical Status	Comments
446. Installation bus shelters	0	10,000	20,000	5%	●	Upgrade sites selected and concept designs finalised. Currently requesting quotations in preparation of awarding works.
1448. Roadside hazard protection	111,265	0	75,000	100%	●	Roadside Hazard Protection upgrades on Arthus Creek Road complete. 2016/17 Program of Works complete.
1986. Roundabout Modification - Centenary Drive/Bradley Drive	1,631	0	167,864	5%	●	Detail design drawings and Request for Tender (RFT) complete. Awaiting approval for Lighting Plan and Network Modification Agreement (NMA) from AusNet Services.
1987. Modify Roundabout - Centenary Drive and Hinkler Drive	1,631	0	200,000	5%	●	Detail design drawings and Request for Tender (RFT) complete. Awaiting approval for Lighting Plan and Network Modification Agreement (NMA) from AusNet Services.
1989. Painted Hills Road/ Bridge Inn Road Intersection	532,037	950,000	3,800,000	15%	●	Construction works have been delayed by inclement weather. Works scheduled for completion in February 2017.
1990. Install pedestrian operated signals - Findon Road - west of Civic Drive	500	0	300,000	5%	●	Construction works to commence in first week of October, for completion by Late October.
1994. Pedestrian Operated Signals – High Street Thomastown	0	0	189,750	0%	●	Project on hold pending the outcome of the Thomastown Streetscape Master Plan.
2039. Signalise intersection - Ferres Boulevard/Findon Road	0	51,000	200,000	2%	●	Review of design works underway.
2122. Construct roundabouts - intersections Redleap Avenue and Buckmaster Drive	0	0	120,000	5%	●	The tender evaluation for the construction works in progress. Construction scheduled to commence in late November.
<b>Total TRANSPORT</b>	<b>745,334</b>	<b>1,231,245</b>	<b>5,907,614</b>			
<b>Total</b>	<b>11,134,208</b>	<b>12,035,773</b>	<b>61,561,332</b>			



## 2016/17 New Works Program First Quarter Project Progress Report

### ASHLEY PARK COMMUNITY ACTIVITY CENTRE- MERNDA





ANIMAL WELFARE FACILITY - EPPING



HAWKESTOWE PARADE EARLY LEARNING CENTRE – MERNDA SOUTH



**BARRY ROAD COMMUNITY ACTIVITY CENTRE - THOMASTOWN**





MILL PARK LAKES PAVILION EXPASION/UPGRADE – SOUTH MORANG



**RGC COOK RESERVE PAVILION UPGRADE**





**THOMASTOWN LIBRARY REFURBISHMENT - THOMASTOWN**





MILL PARK LAKES SPORTSFIELD – SYNTHETIC SURFACE



LALOR TENNIS CLUB UPGRADE - LALOR



LAURIMAR ESTATE - ROAD RESURFACING





PAINTED HILLS ROAD/BRIDGE INN ROAD – SIGNALISE INTERSECTION



URBANISE MCKIMMIES ROAD, MILL PARK



## **2016-2017 Planning and Feasibility Program – Q1 Report**

To provide a Q1 report on the Planning and Feasibility Program in the New Works Program.

### **Background**

Planning for future infrastructure projects is vital for the accurate scoping and costing of works and efficient delivery on time. The previous budget allocations for this program has enabled the forward planning of many projects resulting in the significant improvement in the delivery performance of the New Works Program and attraction of significant external grant funding.

The project planning undertaken under this budget allocation allows for the conduct of due diligence investigations to ensure the project is in a better position for delivery when budget allocations are made in the forward New Works Program. This often requires:

- Investigative works such as feature and level surveys, geotechnical assessments, condition assessments, assessment of existing utilities, etc.
- Development of concepts or possible solutions.
- Development of schedules for the delivery of the project including a resource plan.
- Cost estimation of the project including quantity estimates.
- Preparation of project briefs and business cases, including risk assessments, stakeholder and user consultation, and options analysis.

Project planning reduces the overall project risk by defining the variable items, discovering latent issues and reducing uncertainties. In turn, confidence in the delivery of the project on time and within budget is optimised.

Good project planning will also enable greater accuracy and confidence in applications for external funding grants and increase in external revenue. This is essential to ensure sustainable investment in Council's infrastructure through the 4/15 Year Long Term Infrastructure Program.

### **2016/2017 Program Summary**

The Planning and Feasibility Program presented to Council in July 2016 identified a total project expenditure of \$300,000. This included an allocation of \$65,000 to various projects which were required to be identified as part of the program.

Recent refinement of the program has identified the following changes:

<b>Project</b>	<b>Task</b>	<b>Allocation</b>	<b>Comment/Update</b>
Reconstruct courts - Dr Harry Jenkins Reserve, Mill Park - Dr Harry Jenkins Reserve, Mill Park	Undertake site investigations and concept planning (including costings). Prepare business case. Potential grant	\$30,000	Included in program for 2016/17



	funding opportunities (e.g.. SRV).		
Upgrade pavilion - Main Street Reserve Thomastown	Finalisation of business case and detailed design for pavilion upgrade	\$30,000	Included in program for 2016/17
Lalor Community Hub / 370 Station Street Lalor	Works to include the following: 1. Condition Audit 2. Site investigations and concept planning (including costings). 2. Services compliance assessment 3. Prepare business case.	\$28,000	Included in program for 2016/17
Bundoora Shopping Centre Upgrade	Works to include the following: 1. Review of current documentation 2. Consultation with stakeholders (Traders Association, traders & Local Community) 3. Preparation of two concepts 4. Follow up consultation 5. Finalise concept into detailed design drawings 6. Prepare Construction documents suitable for tender	\$40,000	Included in program for 2016/17
<b>TOTAL</b>		<b>\$128,000</b>	

These have now been included in the updated program (see **Attach listing of projects**).

#### Financial Summary

2016/2017 Budget	2016/17 Expected Expenditure	Expected Variance
\$300,000	\$363,000	\$63,000

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Council allocated \$300,000 funding in 2016/17 budget to undertake planning works for projects identified in the 4 Year New Works Program. This budget allocation was half of the requested funding.

Project expenditure is expected to exceed total allocated budget by 21% due to new project needs being identified during the 2016/2017 year. This variance will need to be accommodated within existing new works capital program surplus to be identified.





## PID 1847 - PLANNING FEASIBILITY PROGRAM FOR 2016/2017 NWP

ID	Project Name	Project Description	Potential External Grant Opportunities	Supporting Information	Planning & Feasibility Program (PID 1847)				Comment
					Allocated Budget	Q1 Proposed Budget	Start	Due for Completion	
HIGH PRIORITY									
484	Wollert Hall Refurbishment - Epping Road Wollert	Wollert Hall - Extension (inc. Public Toilet)	Growing Suburbs Fund (IGF Round 2 - DEWLP - State)	Extension and refurbishment of hall to accommodate additional future use in Wollert growth corridor. The use and popularity of the facility has increased since its management was handed over to Council.	\$ 15,000	\$ 15,000	Q1	Q3	Project Brief completed.  Design Works commenced.
1400 & 1486	Edgars Creek Community-Education Precinct (Aurora)	Master plan and concept design	Community Sports Fund (SRV - State)	Responding to State Government school funding accouchement and opportunity for joint delivery of project. DET has brought forward the school masterplaning process which provides opportunity for integrated ELC. PID 1400 - Construct 2 Football/Cricket Ovals and Pavilion adjacent to P-12 school (near Steen Avenue - Aurora Precinct 3). PID1486 - Construct Tennis Courts and Pavilion adjacent to P-12 school (near Steen Avenue - Aurora Precinct 3).	\$ 20,000	\$ 20,000	Q1	Q4	Works continuing on Master Plan.  Cost estimates for oval design currently underway  Business Case development continuing
1419	Construct Community Activity Centre - Epping North - adjacent to P-12 school (near Steen Avenue - Aurora Precinct 3)	Epping North - Precinct 3 (Aurora) - Construction of Community Activity Centre	Children's Facilities Program (DET - State)	Community Centre is co-located with the P-12 school site which contains two kindergarten rooms, maternal and child health, meeting rooms and hall. Subject to finalisation of Development Contributions Agreement with Lend Lease and Minister's approval of amendment. DET has brought forward the school masterplaning process which provides opportunity for integrated ELC.	\$ 20,000	\$ 20,000	Q1	Q4	Works continuing on Master Plan.  Cost estimates for oval design currently underway  Business Case development continuing
1462	Duffy Street Pavilion	Upgrade existing Pavilion	Community Sports Fund (SRV - State)	Upgrade to the existing pavilion to meet the needs of the growing resident soccer club. Club is expanding and attracting girls to the club. Upgrade would include remodelling the internal layout to provide for 2 change facilities, additional storage, improving the viewing capacity to the ground, providing an appropriate area for umpires change facilities and making the pavilion accessible. Project has been identified in the draft Sports Pavilion Strategy.	\$ 35,000	\$ 35,000	Q2	Q3	Project Brief commenced with Project sponsor.  Concept planning and cost estimate work to commence in Q2
1996	Extension to Laurimar Community Centre	Concept design work for planned extension	Growing Suburbs Fund (IGF Round 2 - DEWLP - State)	Construction of Laurimar CAC Hall. Site investigation commenced in 2015/16.	\$ 25,000	\$ 25,000	Q2	Q4	Project Brief commenced with Project sponsor.  Concept planning and cost estimate work to commence in Q2
1999	Install stormwater harvesting - Melbourne Markets (Stage 4)	Melbourne Markets Stormwater Harvesting Project - Extension to HR Uren Reserve	National Stronger Regions Fund (Dep of Inf - Federal)	As part of the Melbourne Markets Stormwater Harvesting Concept Study and option for the extension of the recycled water main to HR Uren sports facility was considered. Appropriate equipment and functional design elements were provided in the initial design and construction of the Stage 2 and 3 of the project.	\$ 30,000	\$ 30,000	Q2	Q4	Project Brief commenced with Project sponsor.  Concept planning and cost estimate work to commence in Q2
TBA	Epping North Section 173 (2007) Review - Agreement with Places Victoria	Epping North - (Aurora) -	Priority projects likely to be community centres, pavilions and ovals	Places Victoria is required to deliver 22 community facilities of which they have only delivered 3 so far. Agreement requires review at least every 5 years to ensure development progress is consistent with that predicted in 2007. Confirm current needs analysis and schedule of facilities to be provided by Places Victoria in the next 5 year period to ensure community facility delivery meets community demand. Linked to review of Section 173 Epping North agreement with Places Victoria..	\$ 40,000	\$ 40,000	Q2	Q4	Project Brief completed.  RFQ documentation commenced with assistance from Stratigic Planning.
Var	Mernda Town Centre	Planning for Mernda Town Centre	TBA. Likely to be Growing Suburbs Fund (IGF Round 2 - DEWLP - State) and Growing Suburbs Fund (IGF Round 2 - DEWLP - State)	Commencement of Masteplans and urban design concepts for: PID 669 - Youth Facility PID 1408 - Living & Learning Centre PID 1409 - Performing Arts Space PID 1410 - Outreach Centre PID 1411 - Maternal Child Health Centre PID 1454 - Library	\$ 20,000	\$ 20,000	Q2	Q4	Site Massing design work has commenced  Busniess Case to commence once site massing work completed. Commencement expected start November 2016
Var	Project Brief and Business Case developments	Municipal wide	TBA. Likely to be Growing Suburbs Fund (IGF Round 2 - DEWLP - State) and Growing Suburbs Fund (IGF Round 2 - DEWLP - State)	Other priority project investigations, Project Briefs and Business Cases for: - PID 1291 - Business Case - Regional All Abilities Playspace - including Economic Study (\$10,000) - New - Electrical Services at Meadowglen International Athletics Stadium (\$15,000) - New - Whittlesea Community Activity Centre - Soil Managment Report (\$5,000)	\$ 30,000	\$ 30,000	Q1	Q3	Works on identified projects has commenced
TBA	BALANCE	Project allocation to be advised by the New Works Program Board and reported to Council. See Project list below			\$ 65,000	\$ -			See Project list below
259	Reconstruct courts - Dr Harry Jenkins Reserve, Mill Park - Dr Harry Jenkins Reserve, Mill Park	Harry Jenkins Reserve - Reconstruct courts	Community Sports Fund (SRV - State)	The tennis courts are to be reconstructed in stages with a concrete base and sand-filled artificial grass surface as per the Tennis Facility Strategy. Project continues beyond Year 4.	\$ -	\$ 30,000	Q2	Q4	

## PID 1847 - PLANNING FEASIBILITY PROGRAM FOR 2016/2017 NWP

ID	Project Name	Project Description	Potential External Grant Opportunities	Supporting Information	Planning & Feasibility Program (PID 1847)				Comment
					Allocated Budget	Q1 Proposed Budget	Start	Due for Completion	
1696	Upgrade pavilion - Main Street Reserve Thomastown	Detailed design work for planned extension	Community Sports Fund (SRV - State)	Finalise Business Case for redevelopment and commence detailed design for Main Street Reserve Pavilion upgrade	\$ -	\$ 30,000	Q2	Q4	
New	Lalor Community Hub / 370 Station Street Lalor	Development of Business Case	TBA. Likely to be Growing Suburbs Fund (IGF Round 2 - DEWLP - State) and Growing Suburbs Fund (IGF Round 2 - DEWLP - State)	Complete a Business Case associated with the potential long term leasing and remodelling of the property located at 370 Station Street, Lalor to accommodate a proposed pilot of the Cultural Bridges Project (Intercultural Centre).	\$ -	\$ 28,000	Q2	Q4	
1815	Bundoora Shopping Centre Upgrade	Preparation of Stage 3 Works - Masterplan for the Bundoora Shopping Centre	TBA. Likely to be Growing Suburbs Fund (IGF Round 2 - DEWLP - State) and Growing Suburbs Fund (IGF Round 2 - DEWLP - State)	Design works for stage 3 need to be completed to ensure that next stage of the Bundoora Shopping Centre Upgrade is ready to proceed to next round of GSF funding	\$ -	\$ 40,000	Q2	Q4	
					\$ 300,000	\$ 363,000			



8/11/2016

## 2016/2017 Q1 New Works Program Grants Status Report

Project ID	Project Name	Grant Body	Grant Name	Grant Type	Funding Requested / Granted
<b>Application in Progress</b>					
2057	Peter Lalor Secondary College Redevelopment	Department of Premier & Cabinet	Community Infrastructure and Cultural Precincts Program 2016-17	State	\$ 200,000.00
N/A	Mill Park Library Refurbishment	Department of Environment, Land, Water & Planning	Living Libraries Infrastructure Program 2016 - Expression of Interest	State	\$ 750,000.00
2072/2077	Thomastown and Lalor Urban Upgrade Streetscape Projects	VicRoads	Safe System Road Infrastructure Program	State	\$ 500,000.00
N/A	Laurimar Primary School Outdoor Netball Court Lighting	Department of Education & Training	2016-17 Shared Facilities Fund	State	TBA
N/A	Edgars Creek Education Community Precinct - Indoor Sports Hall	Department of Education & Training	2016-17 Shared Facilities Fund	State	TBA
N/A	Edgars Creek Education Community Precinct - Sports Oval	Department of Education & Training	2016-17 Shared Facilities Fund	State	TBA
2057	Peter Lalor Secondary College Redevelopment	Department of Education & Training	2016-17 Shared Facilities Fund	State	TBA
<b>Application Pending Notification</b>					
1917	Korin Korin Children & Family Centre	Department of Health & Human Services	Community Shade Grants Program - Round 2 - <i>Expression of Interest</i>	State	\$ 8,000.00
1717	Whittlesea Dog Off Leash Park	Department of Health & Human Services	Community Shade Grants Program - Round 2 - <i>Expression of Interest</i>	State	\$ 20,000.00
1627	Lalor Tennis Club	Department of Health & Human Services	Community Shade Grants Program - Round 2 - <i>Expression of Interest</i>	State	\$ 20,000.00
2072	Urban Upgrade Streetscape Portfolio - Lalor	Department of Infrastructure and Regional Development	Black Spot Programme	Federal	\$ 530,000.00
1010	Barry Road Community Activity Centre	Department of Justice & Regulation	2016/2017 Public Safety Infrastructure Fund	State	\$ 250,000.00
TBA	Findon Road Path Link and Safe Pedestrian Crossing	Transport Accident Commission	Local Government Grants Program	State	\$ 78,925.00
703	Painted Hills Recreation Reserve and Community Soccer Fields	Sport and Recreation Victoria	Community Sports Infrastructure Fund 2017/2018 Minor Facilities	State	\$ 100,000.00
1142	Yan Yean Community Tennis Club Court Development	Sport and Recreation Victoria	Community Sports Infrastructure Fund 2017/2018 Major Facilities	State	\$ 650,000.00
1419	Edgars Creek Children's Community Centre	Department of Education & Training	2016-17 Integrated Children's Centre Grant	State	\$ 1,600,000.00
484	Wollert Community Centre Refurbishment	Department of Environment, Land, Water & Planning	2016/2017 Growing Suburbs Fund	State	\$ 250,000.00
1896	Urban Upgrade Streetscape Portfolio - Bundoora (1815)	Department of Environment, Land, Water & Planning	2016/2017 Growing Suburbs Fund	State	\$ 100,000.00
2077	Urban Upgrade Streetscape Portfolio - Thomastown	Department of Environment, Land, Water & Planning	2016/2017 Growing Suburbs Fund	State	\$ 100,000.00
2072	Urban Upgrade Streetscape Portfolio - Lalor	Department of Environment, Land, Water & Planning	2016/2017 Growing Suburbs Fund	State	\$ 1,000,000.00



8/11/2016

## 2016/2017 Q1 New Works Program Grants Status Report

Project ID	Project Name	Grant Body	Grant Name	Grant Type	Funding Requested / Granted
1914	Community Facilities Solar Photovoltaic Roll-out	Department of Environment, Land, Water & Planning	2016/2017 Growing Suburbs Fund	State	\$ 200,000.00
1142	Yan Yean Community Tennis Pavilion Development	Department of Environment, Land, Water & Planning	2016/2017 Growing Suburbs Fund	State	\$ 1,800,000.00
1324	Harvest Home Road Community Pavilion Development	Department of Environment, Land, Water & Planning	2016/2017 Growing Suburbs Fund	State	\$ 2,500,000.00
1701	Janefield Community Centre Refurbishment	Department of Environment, Land, Water & Planning	2016/2017 Growing Suburbs Fund	State	\$ 310,000.00
118	Oakbank Boulevard Playground and Township Link	Department of Environment, Land, Water & Planning	2016/2017 Growing Suburbs Fund	State	\$ 220,000.00
118	Playground Renewal Program, Statesman Crescent Park and Hampstead Court Park	Department of Environment, Land, Water & Planning	2016/2017 Growing Suburbs Fund	State	\$ 167,000.00
1812	Darebin Creek Cultural Heritage Trail	Department of Environment, Land, Water & Planning	2016/2017 Growing Suburbs Fund	State	\$ 1,121,000.00
696	Mosaic Recreation Reserve and Community Soccer Facility	Department of Environment, Land, Water & Planning	2016/2017 Growing Suburbs Fund	State	\$ 2,950,000.00
703	Painted Hills Recreation Reserve and Community Soccer Centre Development	Department of Environment, Land, Water & Planning	2016/2017 Growing Suburbs Fund	State	\$ 3,275,000.00
<b>Successful Applications</b>					
2150	West Lalor Tennis Clubroom Access Upgrade	Department of Infrastructure and Regional Development	Stronger Communities Program - Round 2	Federal	\$ 10,000.00
2149	Main Street Reserve Electronic Scoreboard	Department of Infrastructure and Regional Development	Stronger Communities Program - Round 2	Federal	\$ 15,000.00
TBA	Road Safety Works, Glenburnie Road, Whittlesea	Department of Infrastructure and Regional Development	Black Spot Programme	Federal	\$ 880,000.00
1010	Barry Road Community Activity Centre	Department of Environment, Land, Water & Planning	2015/2016 Interface Growth Fund	State	\$ 2,600,000.00
2056	Epping Services Hub	Department of Environment, Land, Water & Planning	2015/2016 Interface Growth Fund	State	\$ 781,000.00
1627	Lalor Rec Reserve	Department of Environment, Land, Water & Planning	2015/2016 Interface Growth Fund	State	\$ 1,250,000.00
1899	Mill Park Lakes	Department of Environment, Land, Water & Planning	2015/2016 Interface Growth Fund	State	\$ 1,118,750.00
118	Playground Improvement Program	Department of Environment, Land, Water & Planning	2015/2016 Interface Growth Fund	State	\$ 260,000.00
2123	Thomastown Library Refurbishment	Department of Environment, Land, Water & Planning	Living Libraries Infrastructure Program	State	\$ 150,000.00
118	Main Street Reserve Play Space Redevelopment	Department of Health & Human Services	Community Sports Infrastructure Fund 2016/2017	State	\$ 100,000.00
1847	Mernda Aquatic and Indoor Centre Feasibility Study	Department of Health & Human Services	Community Sports Infrastructure Fund 2016/2017	State	\$ 30,000.00
1923	Waterview Scoreboard - Woodland Waters Sportsfield Development	Department of Infrastructure and Regional Development	Stronger Communities Program - Round 1	Federal	\$ 20,000.00

8/11/2016

## 2016/2017 Q1 New Works Program Grants Status Report

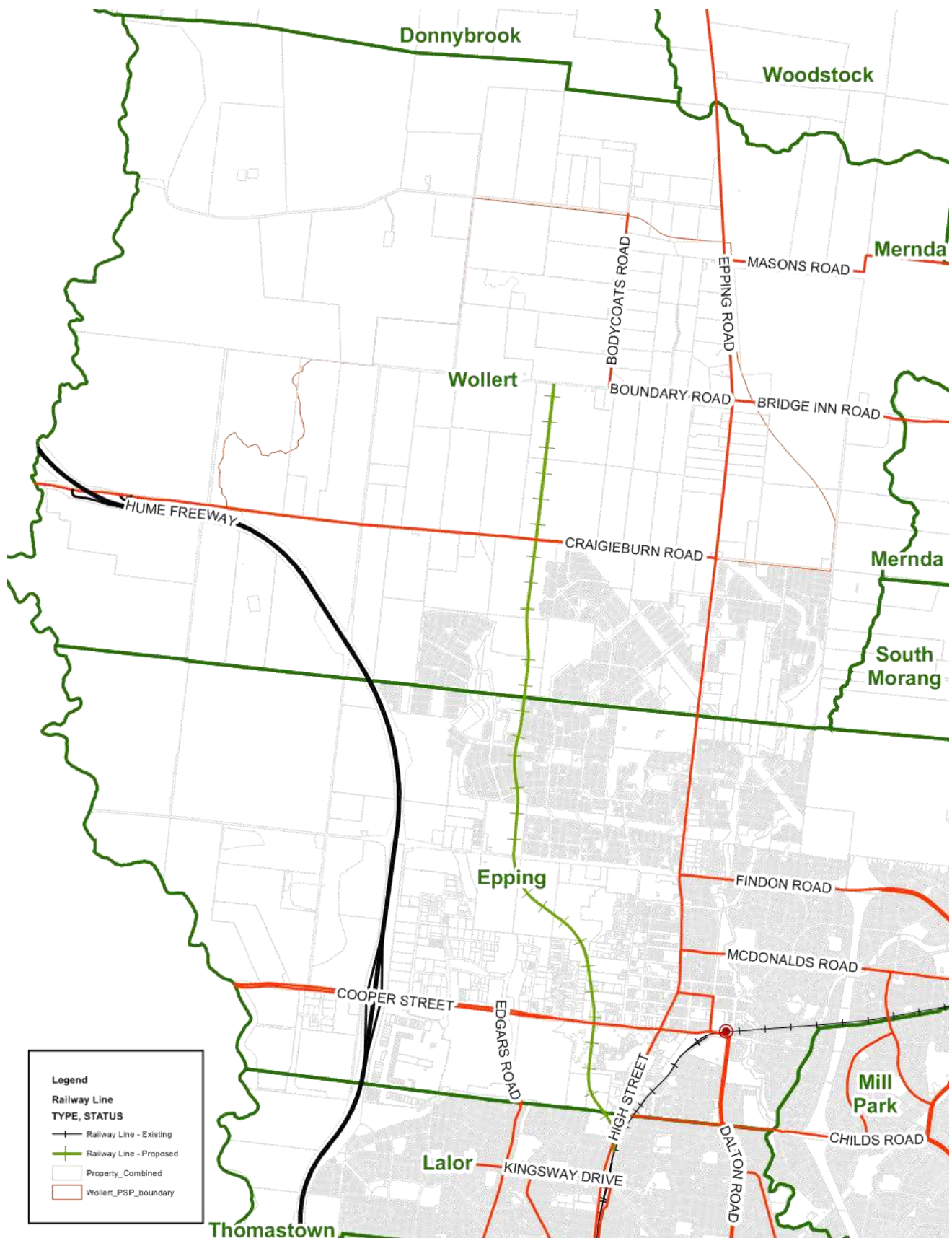
Project ID	Project Name	Grant Body	Grant Name	Grant Type	Funding Requested / Granted
1627	Lalor Tennis Club Social Space Development	Department of Infrastructure and Regional Development	Stronger Communities Program - Round 1	Federal	\$ 15,000.00
1113	Main Street Thomastown Cycling Link	Department of Infrastructure and Regional Development	Stronger Communities Program - Round 1	Federal	\$ 8,000.00
304	Findon Primary School Bicycle Links	Department of Infrastructure and Regional Development	Stronger Communities Program - Round 1	Federal	\$ 19,000.00
1923	Epping Tennis Club Kitchen Upgrade	Department of Infrastructure and Regional Development	Stronger Communities Program - Round 1	Federal	\$ 20,000.00
2146	A.F Walker Reserve Sportsfield Lighting	Department of Health & Human Services	Sport and Recreation Victoria - Country Football and Netball Program	State	\$ 100,000.00
<b>Unsuccessful Applications</b>					
1627	Lalor Tennis Club Social Space Development	Department of Premier & Cabinet	Community Infrastructure and Cultural Precincts Program 2016-17	State	\$ 141,000.00
1701	Janefield Community Centre Refurbishment	Department of Premier & Cabinet	Community Infrastructure and Cultural Precincts Program 2016-17	State	\$ 200,000.00
2119	Streetlight Bulk Replacement Program - Stage 2	Department of Transport, Planning and Local Infrastructure	Collaborative Council - Sustainability Fund Partnerships Program	State	\$ 75,000.00
2118	Findon Road Extension, South Morang	Department of Infrastructure & Regional Development	National Stronger Regions Fund - Round 3	Federal	\$ 5,216,471.00











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## WESTERN RAILWAY CORRIDOR

Scale at A4 - 1:50,000

Date: 26/10/2016  
Ref:65202



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## Public Transportation Corridor



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Map Scale: 1 : 5000  
Date: 31/10/2016  
Produced By: rjs











## 2.2 OVERALL MASTER PLAN

## ENTRY PRECINCT PARK

An interactive and sculptural parkland defining Aurora's new entry from the north, providing a multi-aged playspace, shelter, BBQ area and pedestrian and bike linkage to Edgars Creek and the school district.

## CRAIGIEBURN ROAD EAST LINEAR RESERVE

A reserve along Craigieburn Road East to facilitate off-road shared path connection.

## TREE RESERVE

This Tree Reserve will be a 'no pedestrian access' zone that protects and retains the existing remnant red gum in this location.

## VILLAGE PARK 1

An elevated playground floating across existing trees and providing a series of recreational facilities for mixed age groups.

## TREE RESERVE

This tree Reserve will provide the means to retain the existing remnant red gum tree within close proximity to the Stony Knolls, informing the character of the precinct and providing diversity in habitat.

## VILLAGE PARK 2

A park within a conservation area, providing educational opportunity. Play is informed by native flora and fauna as well as an integrated playground.

## EDGARS CREEK RESERVE

A series of passive experiences and trail networks providing off-road connection through to Aurora Town Centre.

## TRANSPORT CORRIDOR

Off-road shared use connection across Aurora that can facilitate events and host cultural activities throughout the year.

Reserve to match in with treatment of that in Summerhill Estate



AURORA PRECINCT 1 PARCEL 9 LANDSCAPE MASTER PLAN

Scale: 0 20 40 60 80 100m







**ATTACHMENT 1 – SITE PLAN & PHOTO**

**Roads to be discontinued and transferred to  
60 Sackville Street Mernda**

**Land to be acquired by  
Council**

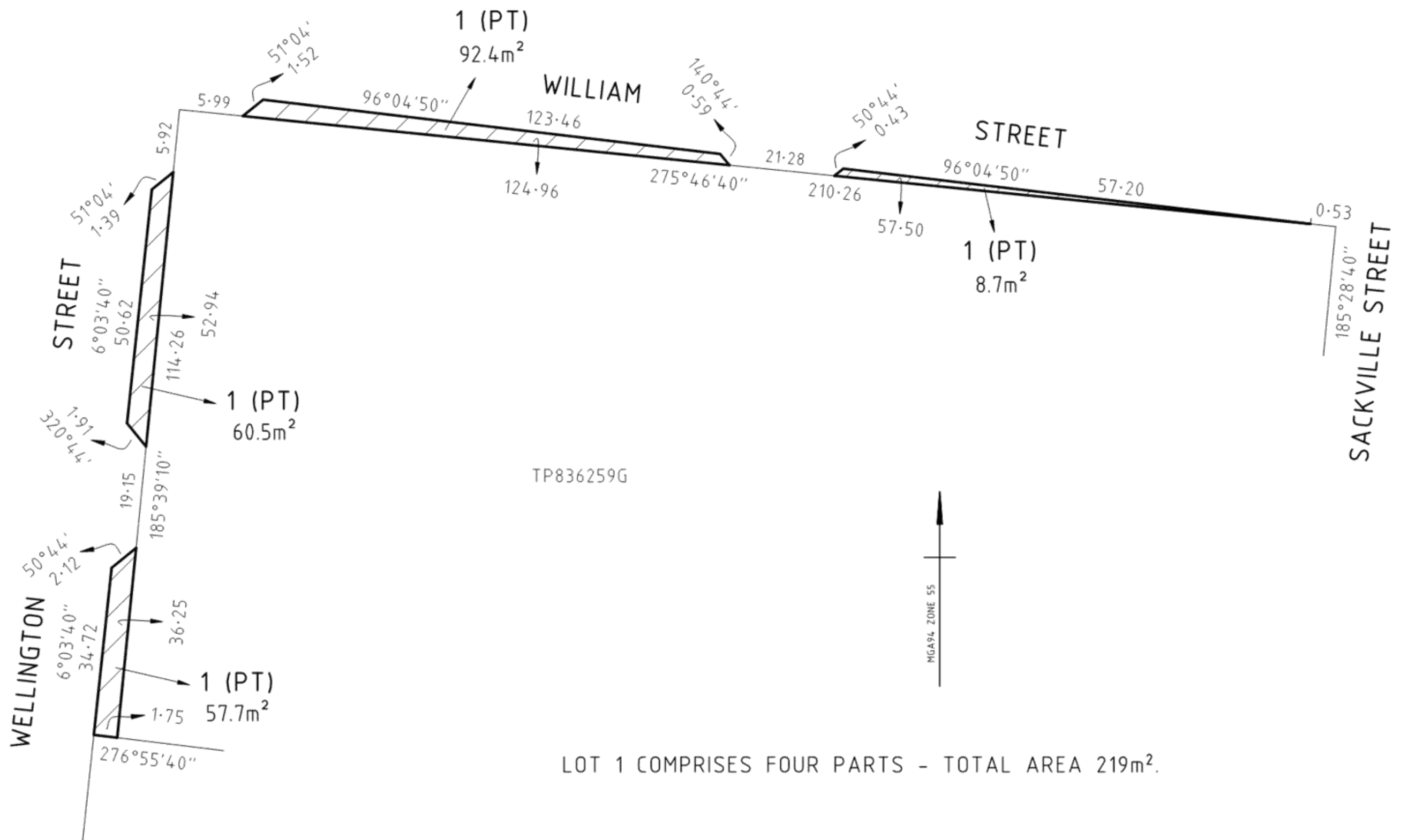








<b>EDITION 1</b>	<b>TITLE PLAN</b>			<b>TP</b>	
<b>LOCATION OF LAND</b> Parish: MORANG Township: _____ Section: _____ Crown Allotment: _____ Crown Portion: 18(PART)  Last Plan Reference: Title Reference: BK.378 MEM.363, BK.430 MEM.942 Depth Limitation: NIL		<b>NOTATIONS</b> PREPARED FROM: PS701112G, VICTORIAN GOVERNMENT GAZETTE  LOT 1 COMPRISES FOUR PARTS. TOTAL AREA IS 219m <sup>2</sup> .			
<b>Easement Information</b> E - Encumbering Easement    A - Appurtenant Easement    R - Encumbering Easement (Road)				THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA FOR DIAGRAM PURPOSES  Checked by  Date    /    /  ..... Assistant Registrar of Titles  Prepared by: Beveridge Williams & Co Pty Ltd	
EASEMENT REFERENCE	Purpose/Authority	Width (Metres)	Origin		Land Benefited/In Favour Of
DIAGRAM NOT TO SCALE 					
LENGTHS ARE IN METRES 		SCALE 1:2000	SHEET SIZE A3	<b>FILE No</b>  DEALING CODE:	



LOT 1 COMPRISES FOUR PARTS - TOTAL AREA 219m².

<b>PLAN OF SUBDIVISION</b> UNDER SECTION 35 OF THE SUBDIVISION ACT 1988				STAGE No. 	LRS use only <b>EDITION</b>	Plan Number <b>PS 70112G</b>												
<b>LOCATION OF LAND</b> Parish: MORANG Township: - Section: - Crown Allotment: - Crown Portion: 18 (PART) Title Reference. VOL.9022 FOL.687 VOL.9405 FOL.712 VOL.10914 FOL.915 VOL.9063 FOL.560 VOL.9405 FOL.713 VOL.11161 FOL.580 VOL.9405 FOL.711 VOL.9627 FOL.425 VOL.11347 FOL.880 Last Plan Reference. LOT 1 TP872513, LOT 1 TP759223, LOT 1 TP826245, LOT 1 TP89524, LOT 1 TP944249, LOT 1 TP99827, LOT 1 TP179480, LOT 1 LP111995, LOT 1 PS647490V Postal Address. BRIDGE INN ROAD, SACKVILLE (at time of subdivision) STREET, REGENT STREET MERNDA 3754 MGA Co-ordinates E 329 700 ZONE 55 (of approx. centre of land in plan) N 5836 600				<b>Council Certification and Endorsement</b> Council Name: CITY OF WHITTLESEA REF: - A. This is a plan under section 35 of the Subdivision Act 1988 which does not create any additional lots. B. This plan is exempt from Part 3 of the Subdivision Act 1988. C. This is a plan under section 35 of the Subdivision Act 1988 which creates (an) additional lot(s). D. It is certified under section 6 of the Subdivision Act 1988. E. It is certified under section 11(7) of the Subdivision Act 1988. F. Date of original certification under section 6. / / G. This is a statement of compliance under section 21 of the Subdivision Act 1988. Council Delegate Council Seal Date / / Re-certified under section 11(7) of the Subdivision Act 1988. Council Delegate Council Seal Date / /														
<b>Vesting of Roads and / or Reserves</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Identifier</th> <th style="width: 50%;">Council/Body/Person</th> </tr> </thead> <tbody> <tr> <td>ROADS R1, R2, R3, R4, R5, R6, R8, R9, R11, &amp; R13</td> <td>CITY OF WHITTLESEA</td> </tr> </tbody> </table>				Identifier	Council/Body/Person	ROADS R1, R2, R3, R4, R5, R6, R8, R9, R11, & R13	CITY OF WHITTLESEA	<b>Notations</b> Staging This is/is not a staged subdivision Planning Permit No. NOT APPLICABLE Depth Limitation DOES NOT APPLY THIS IS A SPEAR PLAN THE LAND BEING SUBDIVIDED IS ENCLOSED WITHIN THICK CONTINUOUS LINES. UNDERLINED DIMENSIONS AND AREAS SHOWN THUS <u>123.45</u> ARE DERIVED FROM TITLE AND ARE NOT THE RESULT OF THIS SURVEY. LOTS 7, 8 AND 11, ROADS R7, R10 AND R12 HAVE BEEN OMITTED FROM THIS PLAN. Land to be acquired by compulsory process; NIL Land to be acquired by agreement. ROADS R1, R2, R3, R4, R5, R6, R8, R9, R11, & R13. All the land is to be acquired free from all encumbrances other than those specified on this plan.										
Identifier	Council/Body/Person																	
ROADS R1, R2, R3, R4, R5, R6, R8, R9, R11, & R13	CITY OF WHITTLESEA																	
<b>Easement Information</b> <b>Legend.</b> E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement A - Appurtenant Easement R - Encumbering Easement (Road) Easements marked (-) are existing easements. Easements marked (+) are created upon registration of this plan. Easements marked (*) are created when the appropriate vesting date is recorded or transfer registered. Easements marked (#) are removed when the appropriate vesting date is recorded or transfer registered.				LRS use only Statement of Compliance/Exemption Statement Received <input type="checkbox"/> Date / / LRS use only Plan Registered Time Date / / Assistant Registrar of Titles Sheet 1 of 7 Sheets														
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">Symbol</th> <th style="width: 15%;">Subject Land</th> <th style="width: 15%;">Purpose</th> <th style="width: 10%;">Width (Metres)</th> <th style="width: 15%;">Origin</th> <th style="width: 35%;">Land Benefited/In Favour Of</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				Symbol	Subject Land	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of							LICENSED SURVEYOR SEAN ADRIAN O'CONNOR (PRINT) SIGNATURE DIGITALLY SIGNED DATE REF. M3740/35 VERSION 5 K:\JOBSDATA\3740\M3740-PS-35.dwg DATE / / COUNCIL DELEGATE SIGNATURE Original sheet size A3		
Symbol	Subject Land	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of													



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 development & environment consultants  
 Melbourne ph : 03 9524 8888  
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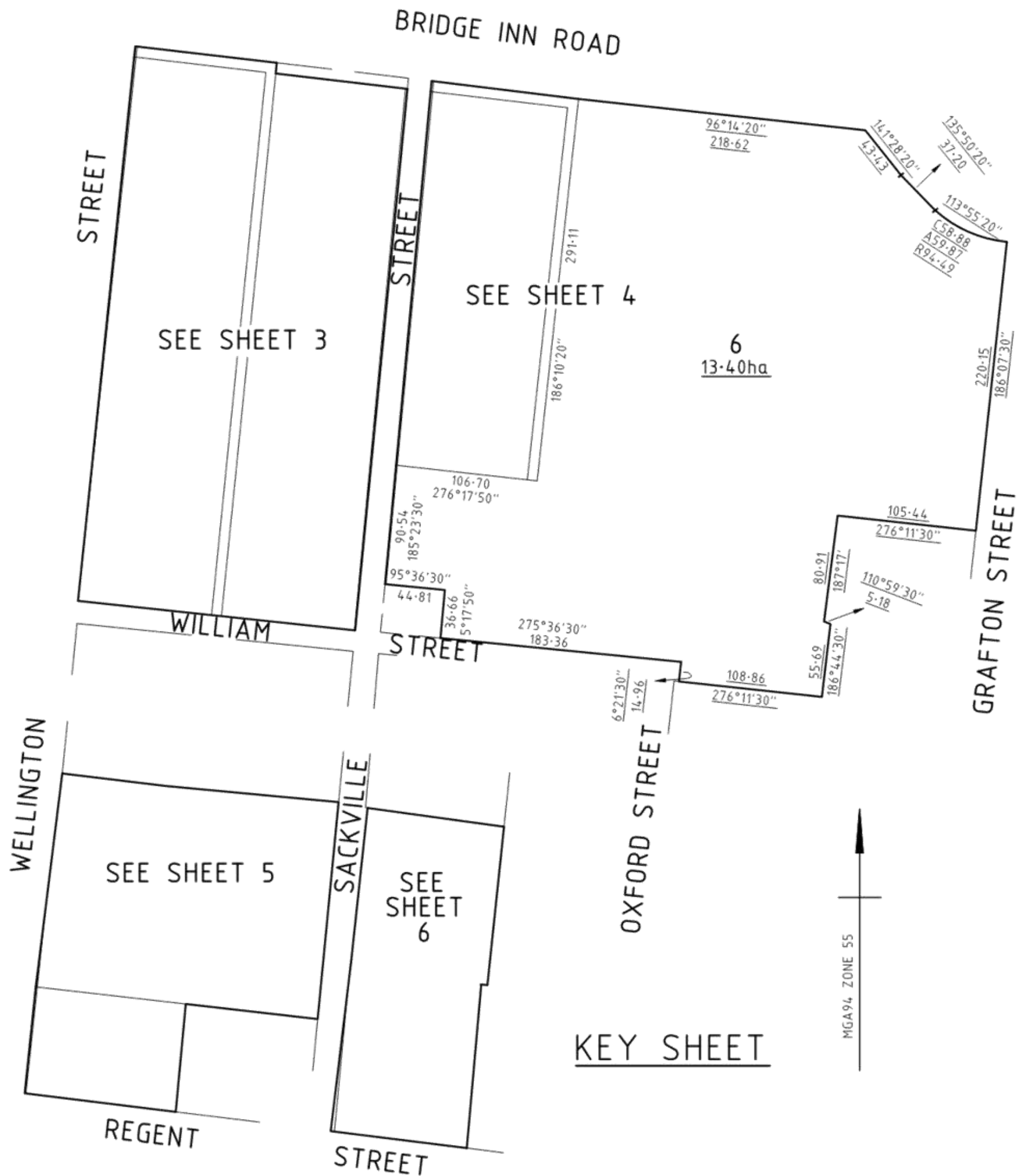
# PLAN OF SUBDIVISION

UNDER SECTION 35 OF THE SUBDIVISION ACT 1988

STAGE No.

Plan Number

**PS 701112G**



Sheet 2

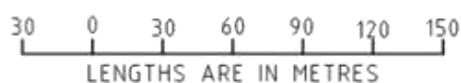


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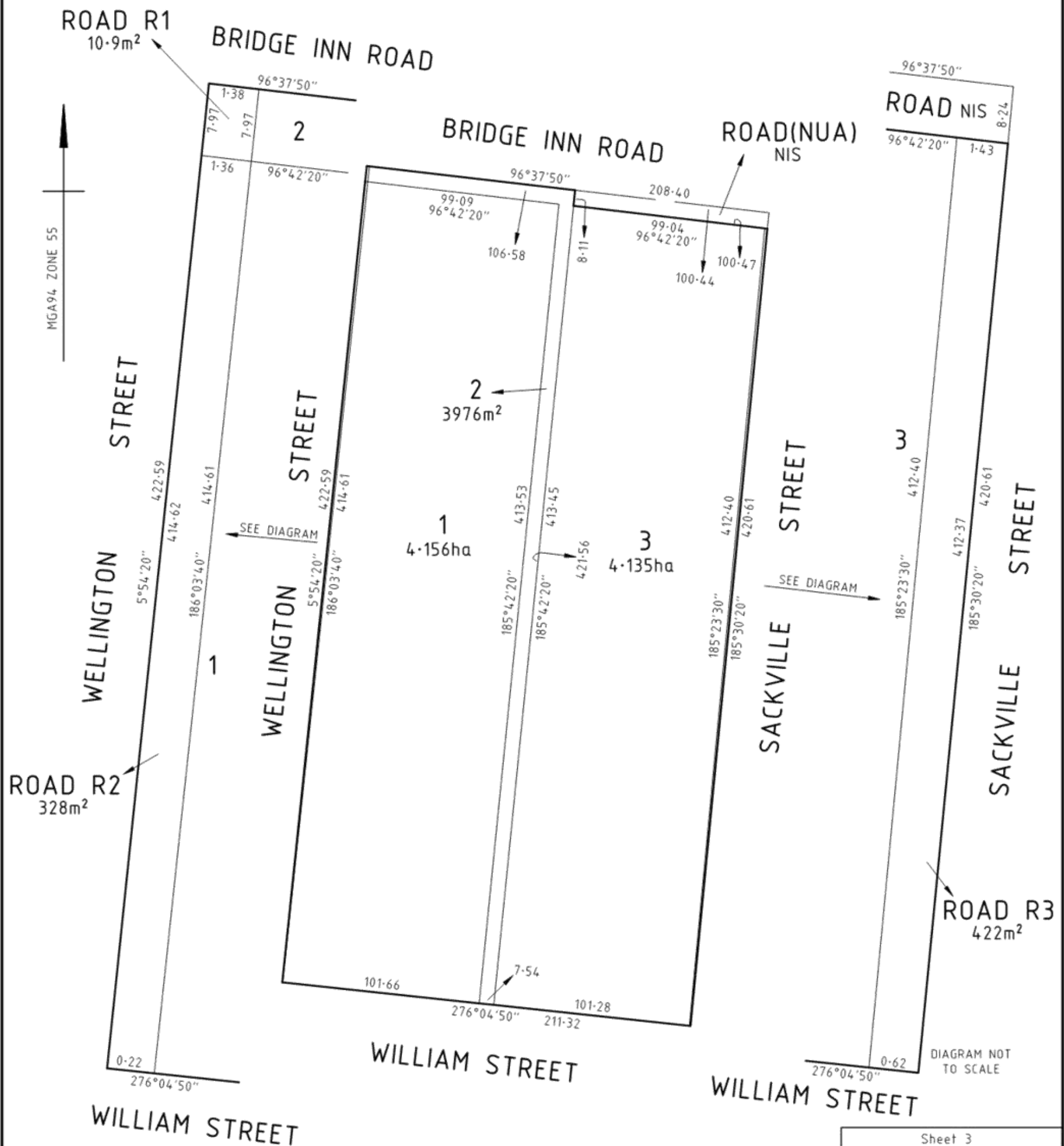
# PLAN OF SUBDIVISION

UNDER SECTION 35 OF THE SUBDIVISION ACT 1988

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Sheet 3

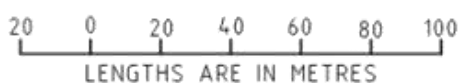


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SCALE



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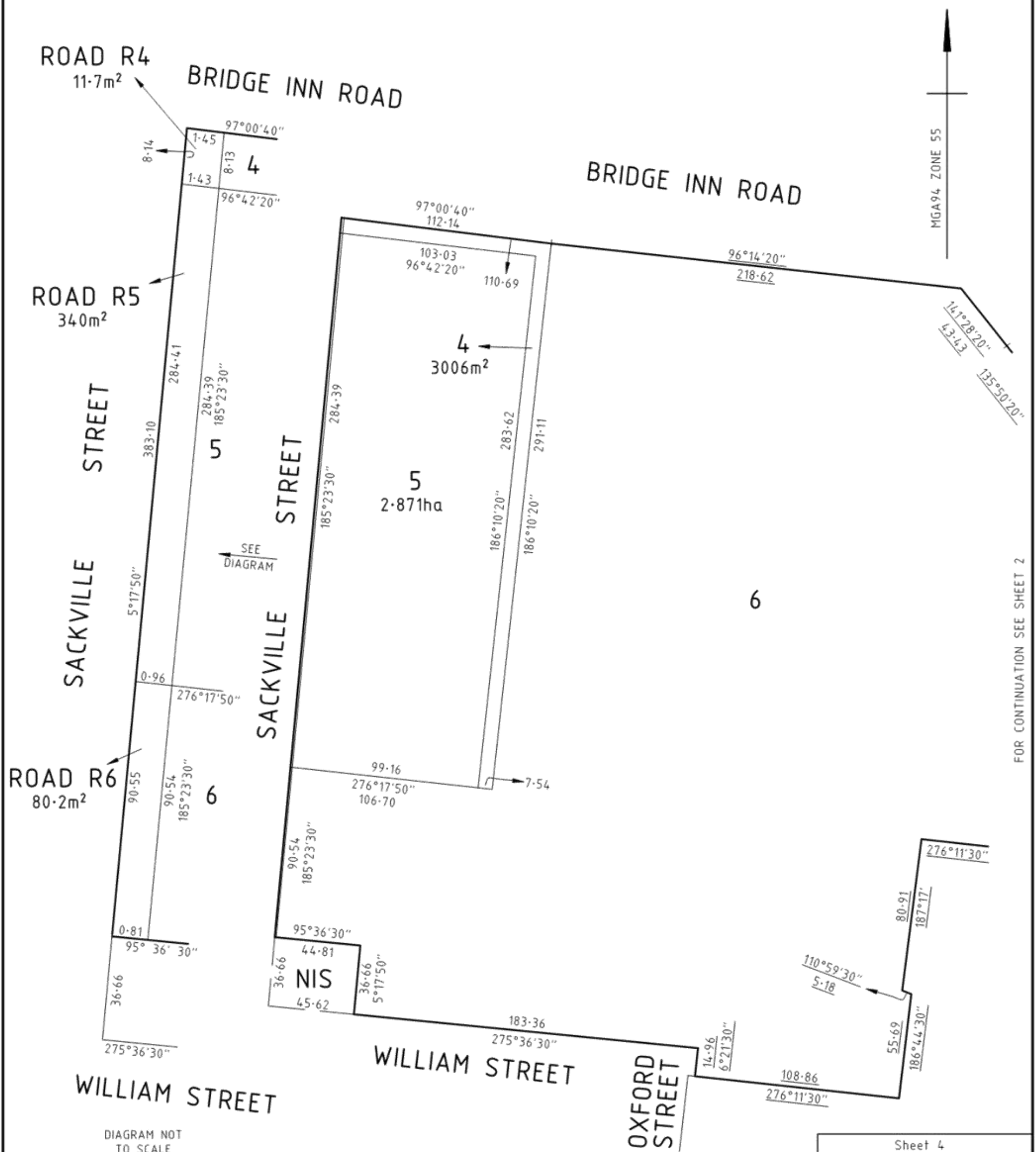
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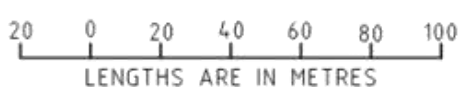


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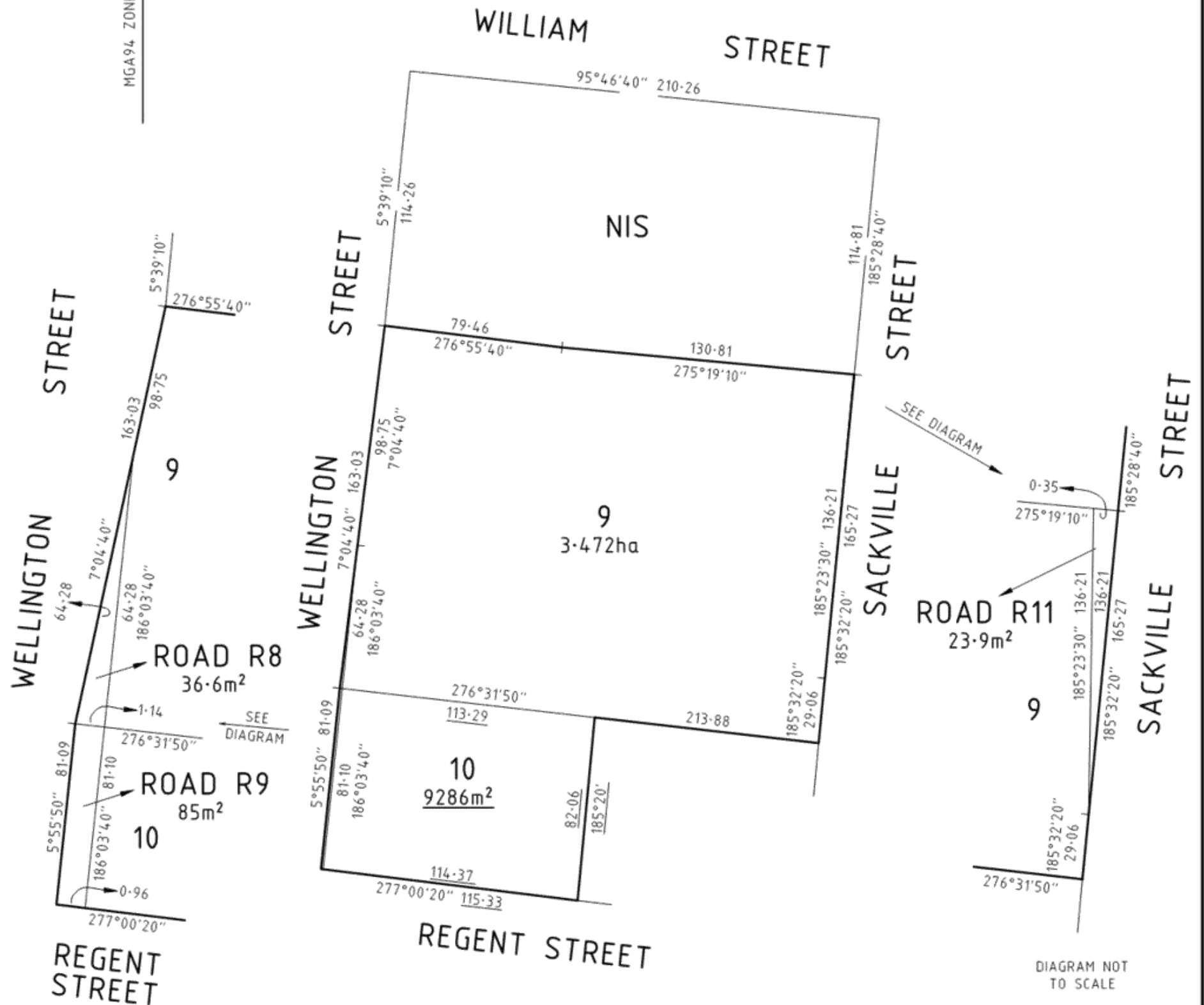


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Sheet 5

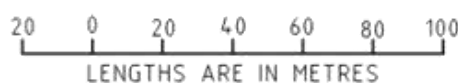


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SCALE



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REF. **M3740/35**

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COUNCIL DELEGATE SIGNATURE

UNDER SECTION 35 OF THE SUBDIVISION ACT 1988

Plan Number	
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Sheet 6



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COUNCIL DELEGATE SIGNATURE

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LENGTHS ARE IN METRES

<b>PLAN OF SUBDIVISION</b> UNDER SECTION 35 OF THE SUBDIVISION ACT 1988		STAGE No. 	Plan Number <b>PS 701112G</b>				
<b>VESTING DATES &amp; TRANSFER REGISTRATION DATES OF ACQUIRED LAND</b>							
Land affected	Land acquired by compulsory process			Land acquired by agreement	LRS reference	Assistant Registrar of Titles  Signature	
	Vesting date	Government Gazette		Date of recording of vesting			Date of registration of transfer
		Page	Year				
ROAD R1	-	-	-	-			
ROAD R2	-	-	-	-			
ROAD R3	-	-	-	-			
ROAD R4	-	-	-	-			
ROAD R5	-	-	-	-			
ROAD R6	-	-	-	-			
ROAD R8	-	-	-	-			
ROAD R9	-	-	-	-			
ROAD R11	-	-	-	-			
ROAD R13	-	-	-	-			
<b>Beveridge Williams</b> development & environment consultants Melbourne ph : 03 9524 8888 <a href="http://www.beveridgewilliams.com.au">www.beveridgewilliams.com.au</a>		LICENSED SURVEYOR (PRINT) SIGNATURE _____ REF. <b>M3740/35</b> <small>K:\JOBSDATA\3740\M3740-PS-35.dwg</small>			DATE _____ VERSION _____ DATE / / COUNCIL DELEGATE SIGNATURE _____		





**ATTACHMENT 1 – SITE PLAN & PHOTO**

**Council land – 214W Greenhills Rd  
Bundoora**

**Development site – 182 Greenhills Rd  
Bundoora**











ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>Australian Local Government Women's Association Incorporated (ALGWA) (External)</b></p> <p>ALGWA is the peak body representing the interests of women in local government across Australia. The Association seeks to assist in furthering women's knowledge, understanding and participation in the function of Local Government.</p> <p><i>Council's membership entitles it to appoint one delegate for the purposes of communication with Council and the delegate also has voting rights. The delegate has the right to stand for election to the Executive Committee of Management, which is separate to being the Council delegate. Council membership entitles anyone at Council to receive discounted rates when attending events held by the Association. The Association conducts several functions each year and members are informed of these events via email and the Association's webpage.</i></p> <p><i>ALGWA meetings for 2017 have not yet been set.</i></p>	<p>Delegate: Cr Stow (Voting rights)</p>	<p>Delegate: Cr Pavlidis (Voting rights)</p> <p>Substitute: Cr Sterjova (if allowed)</p>	<p>Incorporated Association governed by its Constitution</p>
<p><b>Barry Road Community Activity Centre Incorporated (External)</b></p> <p>The Committee of Management manages the Barry Road Community Activity Centre.</p> <p><i>Meetings of the Committee of Management are governed by the constitution of the Association which provides for one Council delegate with voting rights. The appointment of a substitute is not permitted.</i></p> <p><i>Meets every 3rd Monday of the month at 7pm. Meetings will recommence for this Committee following the completion of refurbishments in 2017.</i></p>	<p>Delegate: Cr Kozmevski (Voting rights)</p> <p>Officer: Team Leader Community Inclusion or delegate</p>	<p>Delegate: Cr Kozmevski (Voting rights)</p> <p>Officer: Team Leader Community Facilities or delegate</p>	<p>Incorporated Association governed by its Constitution</p>





ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b><i>Bundoora Indoor Netball &amp; Sport Centre Board (External)</i></b></p> <p>The Board was appointed to oversee the running of the Centre including reviewing the Business Plan, advising on the development and review of the maintenance program for the Centre and determining user fees.</p> <p><b><i>Meetings of the Board are governed by an Agreement between Council and RMIT which provides for Council to appoint three delegates to sit on the Board each having one vote. The appointment of substitutes is not permitted.</i></b></p> <p><b><i>Meetings for 2017 have not yet been set.</i></b></p>	<p>Delegate: Cr Kelly</p> <p>Delegate: Cr Sinclair</p> <p>Officer: Manager Leisure and Community Inclusion</p>	<p>Delegate: Cr Kelly</p> <p>Delegate: Cr Kirkham</p> <p>Officer: Manager Leisure and Community Facilities</p>	<p>Agreement between Council and RMIT University</p>
<p><b><i>CEO Employment Matters Advisory Committee</i></b> <b><i>(Internal Advisory Committee)</i></b></p> <p>The Advisory Committee is to make recommendations to Council on contractual employment matters, on performance matters and any other functions or responsibilities prescribed by the Act relating to the Chief Executive Officer (CEO).</p> <p><b>An independent person is also a member of the Committee and is appointed by Council for a fixed term in a separate report.</b></p>	<p>Delegate: The Mayor</p> <p>Delegate: The immediate past Mayor</p> <p>Delegate: Cr Kozmevski</p>	<p>Delegate: The Mayor</p> <p>Delegate: The immediate past Mayor</p> <p>Delegate: Cr Lallios</p>	<p>Terms of Reference adopted by Council on 9 August 2016.</p>

ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>City of Whittlesea Arts Cultural and Sporting Grants Program for Young People (Internal Advisory Committee)</b></p> <p>The Grants Program provides funding to young residents of the City of Whittlesea to enable them to develop their cultural and sporting endeavours and to increase participation in sporting and cultural activities.</p> <p><i>An Advisory Committee of Councillors considers applications and makes recommendations to a Council Officer who has delegated power to approve payments based on the Program's guidelines.</i></p> <p><i>There is no limit to the number of Councillors on the Advisory Committee.</i></p> <p><i>The Advisory Committee meets either in person or as a 'virtual' Committee as required.</i></p> <p><i>Meetings for 2017 have not yet been set.</i></p>	<p>Delegate: Cr Kelly</p> <p>Delegate: Cr Kirkham</p> <p>Delegate: Cr Kozmevski</p> <p>Delegate: Cr Pavlidis</p> <p>Delegate: Cr Sinclair</p> <p>Delegate: Cr Spinelli</p>	<p>Delegate: Cr Sterjova</p> <p>Delegate: Cr Pavlidis</p> <p>Delegate: Cr Desiato</p> <p>Delegate: Cr Monteleone</p> <p>Delegate: Cr Alessi</p> <p>Delegate: Cr Kozmevski</p>	<p>Terms of Reference adopted by Council on 10 December 2013</p>
<p><b>City of Whittlesea Australia Day Awards Committee (Internal Advisory Committee)</b></p> <p>This Committee represents a cross-section of the community to promote and administer the City of Whittlesea Australia Day Awards.</p> <p><i>Meets approximately 5 times per year on a Monday at Council Offices, dates to be set annually.</i></p> <p><i>Meetings for 2017 have not yet been set.</i></p>	<p>Delegate: Mayor of the Day (Chairperson)</p> <p>Delegate: Immediate Past Mayor</p>	<p>Delegate: Mayor of the Day (Chairperson)</p> <p>Delegate: Immediate Past Mayor</p>	<p>Terms of Reference adopted by Council on 6 May 2014.</p>



ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>Darebin Creek Management Committee Incorporated (External)</b></p> <p>The Committee promotes the preservation, environmental protection and ecologically sensitive development and maintenance of the Darebin Creek Linear Park.</p> <p>The Committee also undertakes individual projects that benefit the local community by promoting environmental awareness through Councils, schools and the wider community.</p> <p><i>Meetings of the Association are governed by its constitution which provides for one Council delegate with voting rights on the Committee of Management.</i></p> <p><i>The appointment of a substitute is permitted under the constitution and the substitute delegate has voting rights in lieu of the delegate.</i></p> <p><i>Meets on the last Wednesday of every second month at 5pm.</i></p>	<p>Delegate: Cr Stow (Voting rights)</p> <p>Substitute: Cr Alessi (Voting rights when attending in lieu of the delegate)</p> <p>Officer: Manager Parks and Open Space</p>	<p>Delegate: Cr Alessi (Voting rights)</p> <p>No substitute appointed (Voting rights when attending in lieu of the delegate)</p> <p>Officer: Manager Parks and Open Space</p>	Incorporated Association governed by its Constitution
<p><b>Epping Community Activity Centre Incorporated (External)</b></p> <p>This Association manages the Epping Community Activity Centre.</p> <p><i>Meetings of the Committee of Management are governed by the constitution of the Association which provides for one Council delegate with voting rights. The appointment of a substitute is not permitted.</i></p> <p><i>Meets 3rd Thursday of month at 7.30pm (no meetings in December/January).</i></p>	<p>Delegate: Cr Harris (Voting rights)</p> <p>Officer: Team Leader Community Inclusion or delegate</p>	<p>Delegate: Cr Monteleone (Voting rights)</p> <p>Officer: Team Leader Community Inclusion or delegate</p>	Incorporated Association governed by its Constitution

ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b><i>Friends of Farm Vigano Incorporated (External)</i></b></p> <p>This Association is dedicated to the preservation, restoration and future development of the property known as Farm Vigano.</p> <p><b><i>Meetings of the Association are governed by its constitution. The constitution provides for Council's Chief Executive Officer or his nominated representative (in this case Council's appointed representatives) to attend meetings of the Management Committee and take part in debate but the nominees are not entitled to a vote.</i></b></p> <p><b><i>Meetings for 2017 have not yet been set.</i></b></p>	<p>Observer: Cr Alessi (Non-voting rights)</p> <p>Observer: Cr Spinelli (Non-voting rights)</p> <p>Officer: Chief Executive Officer or Delegate (Non-voting rights)</p>	<p>Observer: Cr Alessi (Non-voting rights)</p> <p>Observer: Cr Pavlidis (Non-voting rights)</p> <p>Officer: Chief Executive Officer or Delegate (Non-voting rights)</p>	<p>Incorporated Association governed by its Constitution</p>

ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>Interface Councils Group (External)</b></p> <p>This Group includes Whittlesea, Nillumbik, Hume, Mitchell, Melton, Cardinia, Casey, Yarra Ranges, Wyndham and Mornington Peninsula Councils, which are characterised by being part rural and part urban.</p> <p>At its Forum held on 3 December 2014 the Interface Councils Group agreed that Councils could nominate an alternate delegate to attend the Interface Council's Group Forums and to participate in delegations to Ministers.</p> <p>Council on 3 February 2015 resolved to nominate substitute delegates to this Group.</p> <p><i>Meetings of this Group are governed by its terms of reference which provide for one Council delegate with voting rights.</i></p> <p><i>Meetings take place at MAV on 7 December 2016 (Mayoral Induction) 1 February, 5 April, 7 June, 2 August, 4 October, 6 December 2017 (Mayoral Induction) in 2017.</i></p>	<p><b>Delegate:</b> Mayor of the Day</p> <p><b>First Substitute:</b> Immediate Past Mayor</p> <p><b>Second Substitute:</b> Cr Griffin</p> <p><b>Officer:</b> Chief Executive Officer</p> <p><b>Substitute:</b> Director Advocacy &amp; Communications</p>	<p><b>Delegate:</b> Mayor of the Day</p> <p><b>First Substitute:</b> Immediate Past Mayor</p> <p><b>Second Substitute:</b> Deputy Mayor</p> <p><b>Officer:</b> Chief Executive Officer</p> <p><b>Substitute:</b> Director Partnerships and Engagement or delegate nominated by the Chief Executive Officer</p>	<p>Unincorporated group governed by a Terms of Reference.</p>



ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>MAV - Municipal Association of Victoria (External)</b></p> <p>The MAV provides industry leadership by supporting local government to achieve high levels of respect and recognition through improved performance.</p> <p><i>Meetings of the Association are governed by its Rules which provide for Council's delegate to have voting rights.</i></p> <p><i>The appointment of a substitute is permitted under the Rules and the substitute delegate has voting rights in lieu of the delegate.</i></p> <p><i>Delegate attends and votes at State Council meeting.</i></p> <p><i>Meetings for 2017 have not yet been set, nominations will be called by the MAV in late 2016 / early 2017.</i></p>	<p><b>Delegate:</b> Cr Lalios (Voting rights)</p> <p><b>Substitute:</b> Cr Stow (Voting rights when attending in lieu of the delegate – if delegate cannot attend a form needs to be submitted to MAV advising details of our substitute)</p>	<p><b>Delegate:</b> Cr Lalios (Voting rights)</p> <p><b>Substitute:</b> Cr Kirkham (Voting rights when attending in lieu of the delegate – if delegate cannot attend a form needs to be submitted to MAV advising details of our substitute)</p>	<p>Created by the Municipal Association of Victoria Act 1907 (as amended)</p>
<p><b>MAV Arts &amp; Culture Committee (External)</b></p> <p>To inform and progress arts &amp; cultural policy issues impacting on local government as prioritised by the MAV.</p> <ul style="list-style-type: none"> <li>The committee should identify priority issues to be addressed which are consistent with the Strategic Plan and MAV Board priorities</li> </ul> <p><i>The Terms of Reference state that membership of the Committee is determined by the MAV Board. The Council delegate would be the nominee put forward to the MAV Board for membership of the Committee.</i></p> <p><i>Meets quarterly</i></p> <p><i>Meetings for 2017 have not yet been set, nominations will be called by the MAV in late 2016 / early 2017.</i></p>	<p><b>Delegate:</b> Cr Pavlidis</p>	<p>No delegate appointed</p>	<p>Terms of Reference established by the MAV</p>

ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>MAV Emergency Management Committee (External)</b> Provide strategic advice and input to the MAV Board on emergency management policy issues, including the role and function of local government in emergency management.</p> <ul style="list-style-type: none"> <li>To inform and help progress MAV work on emergency management priorities identified by the sector in the MAV Strategic Plan, State Council resolutions and as nominated by the Board.</li> <li>The committee will focus on the priority issues and strategic directions within the MAV Strategic Plan and State Council resolutions.</li> <li>Short-term project or policy specific working groups may be created where the need arises.</li> </ul> <p><i>The Terms of Reference state that membership of the Committee is determined by the MAV Board through an expression of interest process. The Council delegate would be the nominee put forward to the MAV Board for membership of the Committee</i></p> <p><i>Meets quarterly.</i></p> <p><i>Meetings for 2017 have not yet been set, nominations will be called by the MAV in late 2016 / early 2017.</i></p>	<p>Delegate: Cr Spinelli</p>	<p>Delegate: Cr Butler</p>	<p>Terms of Reference established by the MAV</p>

ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>MAV Environment Committee (External)</b></p> <p>To inform and help progress MAV work on environment priorities identified by the sector in the MAV Strategic Plan, State Council resolutions and as nominated by the Board.</p> <ul style="list-style-type: none"> <li>The committee will focus on the priority issues and strategic directions within the MAV Strategic Plan and State Council resolutions.</li> <li>Short-term project or policy specific working groups may be created where the need arises.</li> </ul> <p><i>The Terms of Reference state that membership of the Committee is determined by the MAV Board through an expression of interest process. The Council delegate would be the nominee put forward to the MAV Board for membership of the Committee</i></p> <p><i>Meets every quarter.</i></p> <p><i>Meetings for 2017 have not yet been set, nominations will be called by the MAV in late 2016 / early 2017.</i></p>	<p>Delegate: Cr Stow</p>	<p>No delegate appointed</p>	<p>Terms of Reference established by the MAV</p>



ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>MAV Human Services Advisory Committee (External)</b></p> <p>To provide strategic advice to the MAV on advocacy regarding social policy and human services issues, particularly in inter-governmental relations. The Committee also facilitates consultation with regional groupings of Councils on current state wide issues.</p> <p><i>Meetings of the Advisory Committee are governed by its constitution which provides for Council's delegate to have voting rights.</i></p> <p><i>The appointment of a substitute is permitted under the Terms of Reference of the Committee and the substitute delegate has voting rights in lieu of the delegate.</i></p> <p><i>Meetings for 2017 have not yet been set, nominations will be called by the MAV in late 2016 / early 2017.</i></p>	<p>Delegate: Cr Spinelli (Voting rights)</p> <p>Substitute: Cr Pavlidis (Voting rights when attending in lieu of the delegate)</p> <p>Officer: Director Community Services</p>	<p>No delegate appointed (Voting rights)</p> <p>No substitute appointed (Voting rights when attending in lieu of the delegate)</p> <p>Officer: Director Community Services</p>	<p>Terms of Reference established by the MAV</p>

ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>MAV Multicultural Committee (External)</b></p> <p>To inform and progress multicultural policy issues impacting on local government as prioritised by the MAV Strategic Plan.</p> <ul style="list-style-type: none"> <li>The committee should identify priority issues to be addressed which are consistent with the Strategic Plan and MAV Board priorities</li> </ul> <p><i>The Terms of Reference state that membership of the Committee is determined by the MAV Board. The Council delegate would be the nominee put forward to the MAV Board for membership of the Committee.</i></p> <p><i>Meets quarterly.</i></p> <p><i>Meetings for 2017 have not yet been set, nominations will be called by the MAV in late 2016 / early 2017.</i></p>	<p>Delegate: Cr Pavlidis</p>	<p>Delegate: Cr Pavlidis</p>	<p>Terms of Reference established by the MAV</p>

ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>MAV Planning Committee (External)</b> To engage member councils and inform and progress land use planning issues impacting on local government as prioritised by the MAV Strategic Plan and through State Council.</p> <ul style="list-style-type: none"> <li>The committee should identify priority issues consistent with the Strategic Plan, State Council resolutions and MAV Board priorities annually</li> <li>Short-term project or policy specific working groups may be created where the need arises</li> </ul> <p><i>The Terms of Reference state that membership of the Committee is determined by the MAV Board through the Strategic Plan. The Council delegate would be the nominee put forward to the MAV Board for membership of the Committee.</i></p> <p><i>Meets every quarter.</i></p> <p><i>Meetings for 2017 have not yet been set, nominations will be called by the MAV in late 2016 / early 2017.</i></p>	<p>Delegate: Cr Stow</p>	<p>Delegate: Cr Monteleone</p>	<p>Terms of Reference established by the MAV</p>



ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>MAV Transport &amp; Infrastructure Committee (External)</b></p> <p>To inform and help progress MAV work on the transport and infrastructure priorities identified by the sector in the MAV Strategic Plan, State Council resolutions and as nominated by the Board.</p> <p><i>The Terms of Reference state that membership of the Committee is determined by the MAV Board through an expression of interest process. The Council delegate would be the nominee put forward to the MAV Board for membership of the Committee.</i></p> <p><i>Meets quarterly at the MAV Offices in the City on the second Thursday of February, May, August and November.</i></p> <p><i>Meetings for 2017 have not yet been set, nominations will be called by the MAV in late 2016 / early 2017.</i></p>	<p>Delegate: Cr Harris (Non-voting rights)</p> <p>Officer: Director Infrastructure</p>	<p>Delegate: Cr Monteleone (Non-voting rights)</p> <p>Officer: Director City Transport and Presentation</p>	<p>Terms of Reference established by the MAV</p>

ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>MAV Professional Development Reference Group (External)</b> The purpose of the Professional Development Reference Group (PDRG) is to:</p> <ul style="list-style-type: none"> <li>• Provide input into MAV professional development programs</li> <li>• Identify ongoing areas of training need within the sector</li> <li>• Identify opportunities for professional development activity</li> <li>• Encourage participation in MAV professional development programs</li> <li>• Provide input in programs designed to attract and prepare prospective councillors</li> </ul> <p><i>The Terms of Reference state that membership of the Committee is determined by the MAV Board. The Council delegate would be the nominee put forward to the MAV Board for membership of the Committee.</i></p> <p><i>Meets every second month.</i></p> <p><i>Meetings for 2017 have not yet been set, nominations will be called by the MAV in late 2016 / early 2017.</i></p>	No delegate appointed	No delegate appointed	Terms of Reference established by the MAV

ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>Meadowglen International Athletics Stadium Incorporated (External)</b></p> <p>This Committee of Management manages the Meadowglen International Athletics Stadium.</p> <p><i>Meetings of the Association are governed by its constitution which provides for one Council delegate with voting rights on the Committee of Management. The appointment of a substitute is not permitted.</i></p> <p><i>Meets 2<sup>nd</sup> Wednesday of the month at the Stadium 6.30pm.</i></p>	<p>Delegate: Cr Sinclair (Voting rights)</p> <p>Officer: Team Leader Leisure Planning</p>	<p>Delegate: Cr Lalios (Voting rights)</p> <p>Officer: Sports Club and Facility Coordinator</p>	<p>Incorporated Association governed by its Constitution</p>
<p><b>Melbourne's Northern Metropolitan Mayor's and CEO's Forum (External)</b></p> <p>The Group is intended to provide a unified voice for the north so as to advocate for projects that will enhance the lives of our communities.</p> <p>The Group comprises Banyule City Council, Darebin City Council, Moreland City Council, Shire of Nillumbik, City of Whittlesea and Yarra City Council.</p> <p><i>This is not a decision making group and therefore there is no provision for the Council delegate to have voting rights.</i></p> <p><i>Meetings for 2017 have not yet been set</i></p>	<p>Delegate: Mayor of the Day (Non-voting rights)</p> <p>Officer: Chief Executive Officer</p>	<p>Delegate: Mayor of the Day (Non-voting rights)</p> <p>Officer: Chief Executive Officer</p>	<p>Unincorporated group without a specific Terms of Reference.</p>



ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>Merri Creek Management Committee Incorporated (External)</b></p> <p>This Association promotes the management of the Merri Creek and its catchment through the provision of technical advice and support to Councils and other agencies.</p> <p><i>Meetings of the Association are governed by its Constitution which provides for two Council delegates on the Management Committee with voting rights. There is no reference in the Constitution to the appointment of a substitute.</i></p> <p><i>Meets every third Thursday of month alternating between City of Moreland and City of Whittlesea in February, May, August and November each year at 6:30pm.</i></p>	<p>Delegate: Cr Kozmevski (Voting rights)</p> <p>Officer: Manager Parks and Open Space</p>	<p>Delegate: Cr Kozmevski (Voting rights)</p> <p>Officer: Manager Parks and Open Space</p>	<p>Incorporated Association governed by its Constitution</p>

ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>Metropolitan Local Government's Waste Forum (MLGWF) (External)</b></p> <p>The Metropolitan Waste Management Group (MWMG) works with metropolitan Councils to plan, coordinate and facilitate the procurement of waste management and resource recovery services. The Metropolitan Local Governments' Waste Forum (MLGWF) has been set up to support the effective operation of the MWMG.</p> <p><i>The MLGWF consists of a Councillor (voting member) and a Council officer (as an advisory non-voting member) from each of the 30 metropolitan Councils. The substitute has voting rights as proxy but nomination must be in writing to the Chair of the Forum. The nomination is enduring until it is revoked.</i></p> <p>The Officer attends as an Advisory Member to the Forum. The Advisory Member is able to participate fully in all Forum proceedings and activities but does not hold a vote unless acting as a proxy for a specific meeting.</p> <p><i>Meetings for 2017 have not yet been set.</i></p>	<p>Delegate: Cr Alessi (Voting rights)</p> <p>Substitute: Cr Stow</p> <p>Additional Substitute: All remaining Councillors</p> <p>Officer: Director Infrastructure or Delegate</p> <p>The Officer attends as a substitute with voting rights.</p>	<p>Delegate: Cr Alessi (Voting rights)</p> <p>Substitute: Cr Lalios</p> <p>Additional Substitute: All remaining Councillors</p> <p>Officer: Director City Transport and Presentation or Delegate</p> <p>The Officer attends as a substitute with voting rights.</p>	<p>Operating Guidelines developed under the Environment Protection Act 1970 (as amended).</p>

ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b>Metropolitan Transport Forum Inc. (External)</b></p> <p>This Forum promotes effective, efficient and equitable transport in metropolitan Melbourne by providing a forum for debate, research and policy development, and by disseminating information to improve transport choices.</p> <p><i>Meetings of the Forum are governed by its Constitution which provides for Council's delegate to have voting rights.</i></p> <p><i>The appointment of a substitute is permitted under the Constitution and the substitute delegate has voting rights in lieu of the delegate.</i></p> <p><i>Meets 1<sup>st</sup> Wednesday of month at Melbourne Town Hall from February to December, 6pm-8.30pm.</i></p>	<p>Delegate: Cr Alessi (Voting rights)</p> <p>Substitute: Cr Sinclair (Voting rights)</p> <p>Officer: Manager Engineering and Transportation</p>	<p>Delegate: Cr Desiato (Voting rights)</p> <p>Substitute: Cr Kirkham (Voting rights)</p> <p>Officer: Manager City Design and Transport</p>	<p>Incorporated Association governed by its Constitution.</p>
<p><b>Municipal Emergency Management Planning Committee (MEMPC) (Internal)</b></p> <p>This Committee promotes emergency management preparedness with stakeholders within the municipality and oversees the emergency management procedures for the municipality.</p> <p><i>Meetings of the Advisory Committee are governed by its Terms of Reference which provide for Council's delegate to have voting rights.</i></p> <p><i>The appointment of a substitute is permitted under the Terms of Reference of the Committee and the substitute delegate has voting rights in lieu of the delegate.</i></p> <p><i>Meeting dates 7 February, 2 May, 1 August and 7 November 2017.</i></p>	<p>Delegate: Cr Spinelli (Voting rights)</p> <p>Substitute: Cr Kirkham (Voting rights when attending in lieu of the delegate)</p> <p>Officer: Municipal Emergency Resource Officer</p>	<p>Delegate: Cr Butler (Voting rights)</p> <p>Substitute: Cr Kirkham (Voting rights when attending in lieu of the delegate)</p> <p>Officer: Municipal Emergency Resource Officer</p>	<p>Created by Council as an obligation under the State Emergency Management Act 1986 (as amended)</p>



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<p><b>Municipal Fire Management Planning Committee (MFMP) (Internal)</b></p> <p>The Committee is made up of fire response agencies and is responsible for maintaining a fire prevention and response process for the municipality.</p> <p><i>Meetings for 2017 have not yet been set.</i></p>	<p>Delegate: Cr Spinelli (Voting rights)</p> <p>Officer: Municipal Fire Prevention Officer</p>	<p>Delegate: Cr Butler (Voting rights)</p> <p>Officer: Municipal Fire Prevention Officer</p>	<p>Created by Council as an obligation under the Country Fire Authority Act 1958 (as amended)</p>
<p><b>Northern Alliance for Greenhouse Action Executive (NAGA) (External)</b></p> <p>The NAGA formed in 2002 as a network to share information, skills and resources related to climate change action. NAGA's members are the cities of Banyule, Darebin, Hume, Manningham, Melbourne, Moreland, Whittlesea, Yarra, Shire of Nillumbik and Moreland Energy Foundation (MEFL). NAGA'S goal is to substantially contribute to the transition to a low-carbon future.</p> <p><i>The NAGA Executive was formed in 2009 to ensure sound and effective decision-making. It is a senior leadership group comprising Councillors, Council Senior and Executive Officers, CEO of MEFL and NAGA Executive Officer.</i></p> <p><i>Decisions are generally made by consensus and therefore voting is not usually required. Officer delegates have observer status only.</i></p> <p><i>Meets quarterly. Meetings for 2017 have not yet been set.</i></p>	<p>Delegate: Cr Spinelli (Voting rights)</p> <p>No substitute appointed</p> <p>Officer: Executive Officer Sustainability Planning</p>	<p>Delegate: Cr Alessi (Voting rights)</p> <p>No substitute appointed</p> <p>Officer: Executive Officer Sustainability Planning</p>	<p>Terms of Reference</p>

ORGANISATION/COMMITTEE	APPOINTED COUNCIL REPRESENTATIVE FOR 2016	APPOINTED COUNCIL REPRESENTATIVE FOR 2017	CONSTITUTION, TERMS OF REFERENCE OR STATEMENT OF PURPOSE HELD
<p><b><i>Risk &amp; Audit Advisory Committee (Internal)</i></b>  The Audit &amp; Risk Committee's purpose is to advise Council in fulfilling its oversight responsibilities for the financial and non-financial reporting process, internal controls, the audit process, risk management and Council's process for monitoring compliance with legislation and regulations and the Code of Conduct.</p> <p><i>This is a Council Advisory Committee.</i></p> <p><i>Meetings for 2017 have not yet been set.</i></p> <p><i>Independent members of the Committee are appointed by Council for a fixed term in a separate report.</i></p>	<p>Delegate: Cr Kozmevski (Voting rights)</p> <p>Delegate: Cr Kirkham (Voting rights)</p>	<p>Delegate: Cr Kirkham (Voting rights)</p> <p>Delegate: Cr Kozmevski (Voting rights)</p>	<p>Council advisory Committee created under the Local Government Act 1989 (as amended) with a Charter adopted by Council on 2 February 2016</p>
<p><b><i>Riverside Community Activity Centre Incorporated (External)</i></b>  This Association manages the Riverside Community Activity Centre.</p> <p><i>Meetings of the Committee of Management are governed by the constitution of the Association which provides for one Council delegate with voting rights. The appointment of a substitute is not permitted.</i></p> <p><i>Meets 3<sup>rd</sup> Wednesday of the month at 7.30pm (no meeting in January) at the Centre.</i></p>	<p>Delegate: Cr Harris (Voting rights)</p> <p>Officers: Team Leader Community Inclusion or delegate</p>	<p>Delegate: Cr Lalios (Voting rights)</p> <p>Officers: Manager Leisure and Community Facilities</p>	<p>Incorporated Association governed by its Constitution</p>

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<p><b>Victorian Local Governance Association (VLGA) (External)</b></p> <p>The VLGA promotes good governance and sustainability by supporting local governments and communities through programs of advocacy, training, information provision and support.</p> <p><b>Council has 2 Councillor delegates, both with voting rights. A delegate may stand for election to the Committee of management if they wish.</b></p> <p><b>The Leading the Agenda Forum takes place on the 1<sup>st</sup> Thursday of every month from February-November at VLGA offices Carlton at 6pm. AGM is held late October early November.</b></p>	<p>Delegate: Cr Stow (Voting rights)</p> <p>Delegate: Cr Kirkham (Voting rights)</p>	<p>Delegate: Cr Kirkham (Voting rights)</p> <p>No further delegate appointed (Voting rights)</p>	<p>Incorporated Association governed by its Constitution</p>
<p><b>Westgarthtown Pioneer Precinct Advisory Committee (Internal)</b></p> <p>This Committee provides a forum for the Friends of Westgarthtown, the Lutheran Church and Council staff to exchange information on the management of the various sites within the Pioneer Precinct.</p> <p><b>Meetings for 2017 have not yet been set.</b></p>	<p>Delegate: Cr Pavlidis (Voting rights)</p> <p>Delegate: Cr Spinelli (Voting rights)</p> <p>Delegate: Cr Alessi (Voting rights)</p> <p>Officer: Team Leader Community Inclusion and Heritage Coordinator</p>	<p>Delegate: Cr Alessi (Voting rights)</p> <p>Delegate: Cr Cox (Voting rights)</p> <p>No further delegate appointed (Voting rights)</p> <p>Officer: Team Leader Community Facilities and Heritage Coordinator</p>	<p>A new Terms of Reference developed.</p>



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<p><b>Whittlesea and Plenty Valley Tourism Association (External)</b></p> <p>The Whittlesea and Plenty Valley Tourism Association is a local tourism association working in partnership with Council to develop and market a sustainable tourism industry that builds on the region's strengths. The association consists of volunteer local business and community representatives and Council staff.</p> <p><i>The Constitution provides "The Council appointed Whittlesea and Plenty Valley Tourism representative will sit as an ex-officio member of the Committee."</i></p> <p><i>Meets 2<sup>nd</sup> Wednesday of every month at Whitehaven Receptions in Whittlesea at 6.30pm.</i></p>	<p>Delegate: Cr Kirkham (Voting rights)</p> <p>Substitute: Cr Stow</p> <p>Officer: Director Governance &amp; Economic Development or Delegate</p>	<p>Delegate: Cr Kirkham (Voting rights)</p> <p>No substitute appointed</p> <p>Officer: Director Partnerships and Engagement or delegate</p>	Incorporated Association governed by its Constitution.
<p><b>Whittlesea Community Connections (External)</b></p> <p>Whittlesea Community Connections (WCC) provides a range of services to support and assist the local community. WCC provides direct help and assistance and links people to the right place, person or organisation.</p> <p><i>Meets every 3<sup>rd</sup> Monday of the month at WCC at Epping Plaza 11am – 1pm.</i></p>	<p>Delegate: Cr Alessi (Voting rights)</p> <p>Substitute: Cr Spinelli</p>	<p>Delegate: Cr Alessi (Voting rights)</p> <p>Substitute: Cr Sterjova</p>	Incorporated Association governed by its Constitution.

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<p><b>Whittlesea Community Futures Partnership (Internal)</b></p> <p>Whittlesea Community Futures Partnership combines a wide range of expertise, local knowledge and resources to improve family support, services and facilities for residents in Thomastown/Lalor and Epping North/Mernda.</p> <p>The Partnership was created through funding from the State Government in 2006. It has some 45 organisations as part of the partnership.</p> <p><i>Meetings for 2017 have not yet been set.</i></p>	<p>Delegate: Cr Pavlidis (Non-voting rights)</p> <p>Delegate: Cr Lalios (Non-voting rights)</p> <p>Officer: Director Partnerships and Engagement or Delegate</p>	<p>Delegate: Cr Pavlidis (Non-voting rights)</p> <p>Delegate: Cr Lalios (Non-voting rights)</p> <p>Officer: Director Partnerships and Engagement or Delegate</p>	<p>Terms of Reference adopted by the Partnership, of which the City of Whittlesea is a member.</p>
<p><b>Whittlesea Courthouse Association (External)</b></p> <p>The Association manages the historic courthouse building which also operated as a Visitor Information Centre.</p> <p><i>The Constitution outlines the Officers of the Association. It provides a clause for "An executive officer of the City of Whittlesea to be represented".</i></p> <p><i>Meets 4<sup>th</sup> Wednesday of every month at 7pm at Whittlesea Courthouse.</i></p>	<p>Delegate: Cr Kirkham (Non-voting rights)</p> <p>Substitute: Cr Stow (Non-voting rights)</p> <p>Officer: Director Governance &amp; Economic Development or Delegate</p>	<p>Delegate: Cr Kirkham (Non-voting rights)</p> <p>Substitute: Cr Monteleone (Non-voting rights)</p> <p>Officer: Director Partnerships and Engagement or Delegate</p>	<p>Incorporated Association governed by its Constitution</p>

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<p><b>Whittlesea Country Music Festival Association Incorporated (External)</b></p> <p>The Committee of Management manages the Whittlesea Country Music Festival.</p> <p><i>The constitution provides for the CEO of Council (or their representative) to attend meetings of the Committee and participate in discussions but they are not entitled to a vote.</i></p> <p><i>Fortnightly from April–October, weekly from November–March. Meetings are held on Wednesday at Whittlesea Bowling Club, Church Street, Whittlesea 6:00pm – 7:30pm</i></p>	<p>Delegate: Mayor of the Day (Non-voting rights)</p> <p>Substitute: Cr Stow (Non-voting rights)</p> <p>Officer: Director Community Services or Delegate</p>	<p>Delegate: Mayor of the Day (Non-voting rights)</p> <p>Substitute: Cr Monteleone (Non-voting rights)</p> <p>Officer: Director Community Services or Delegate</p>	<p>Incorporated Association governed by its Constitution</p>
<p><b>Whittlesea Disability Network (WDN) (Internal Advisory Committee)</b></p> <p>The WDN is an active network of residents with disabilities, carers and service providers who meet monthly to consider and address issues for people with disabilities in the municipality.</p> <p><i>The WDN is not a decision making body and therefore no voting rights are required.</i></p> <p><i>Meets monthly from February to December each year, currently on the second Tuesday of each month, from 9.30 am to 12 noon at Council Offices.</i></p>	<p>Delegate: Mayor of the Day (Non-voting rights)</p> <p>Substitute: Cr Stow (Non-voting rights)</p> <p>Substitute: Cr Lalios (Non-voting rights)</p> <p>Officer: Access Co-ordinator</p>	<p>Delegate: Mayor of the Day (Non-voting rights)</p> <p>Substitute: Cr Lalios (Non-voting rights)</p> <p>No substitute appointed (Non-voting rights)</p> <p>Officer: Team Leader Access</p>	<p>Terms of Reference adopted by Council 11 December 2012</p>



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<p><b>Whittlesea Multicultural Communities Council (WMCC) (External)</b></p> <p>The WMCC enhances co-operation among the diverse communities and promotes a greater awareness of multicultural values and needs within the municipality.</p> <p><i>The delegate is a member of the Committee but does not have voting rights.</i></p> <p><i>Meets bi-monthly on Thursdays from 5.30pm – 7.30pm at the Office of Lily D'Ambrosio (MP for Mill Park) at 6 May Road, Lalor.</i></p>	<p><b>Delegate:</b> Cr Pavlidis (Non-voting rights)</p> <p><b>Substitute:</b> Cr Spinelli (Non-voting rights)</p> <p><b>Officer:</b> Multicultural Planning and Policy Coordinator</p>	<p><b>Delegate:</b> Cr Pavlidis (Non-voting rights)</p> <p><b>Substitute:</b> Cr Kozmevski (Non-voting rights)</p> <p><b>Officer:</b> Team Leader Aboriginal &amp; Cultural diversity</p>	<p>Incorporated Association governed by its Constitution</p>
<p><b>Whittlesea Reconciliation Group (Internal)</b></p> <p>The Group commenced in 2001 as a community based committee to be a key reference group for Council on the continuing reconciliation process and to foster understanding of historical, cultural and contemporary issues.</p> <p>This is a Council Advisory Committee.</p> <p><i>Meetings for 2017 have not yet been set.</i></p>	<p><b>Delegate:</b> Cr Pavlidis (Voting rights)</p> <p><b>Delegate:</b> Cr Kelly (Voting rights)</p> <p><b>Officer:</b> Director Community Services or Delegate and Aboriginal Liaison Officer</p>	<p><b>Delegate:</b> The Mayor (Voting rights)</p> <p><b>Delegate:</b> Cr Kelly (Voting rights)</p> <p><b>Officer:</b> Team Leader Aboriginal &amp; Cultural diversity or Delegate and Aboriginal Liaison Officer</p>	<p>Terms of Reference adopted by the Council on 10 December 2013</p>

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<p><b>Whittlesea Secondary College Chaplaincy Committee (External)</b></p> <p>The Committee co-ordinates chaplaincy services for students.</p> <p><i>The delegate is a member of the Committee.</i></p> <p><i>Meets 1<sup>st</sup> Thursday of every month at 7.30pm at Whittlesea Secondary College, (no meetings during School holidays).</i></p>	<p>Delegate: Cr Griffin (Voting rights)</p> <p>Substitute: Cr Stow</p>	<p>Delegate: Cr Kirkham (Voting rights)</p> <p>Substitute: Cr Monteleone</p>	Constitution
<p><b>Whittlesea Showground and Recreation Reserves Committee of Management (External)</b></p> <p>This Committee provides an oversight or coordination role for the various users of the Crown land parcel centred on the Scrubby Creek and Plenty River and bisected by Yea Road in Whittlesea. The Committee is responsible for the maintenance and safe provision of a range of public open space elements and activities within the reserve.</p> <p>The charter of the Committee provides for one representative from Council to be appointed. The Mayor, Cr Kirkham was appointed to this committee for 2015. Historically, an Officer has been appointed to this Committee because the Committee meets on a Tuesday, which clashes with Councillor Forum and Council meeting dates.</p> <p><i>Meets 2<sup>nd</sup> Tuesday of every second month at 8pm at the showgrounds.</i></p>	<p>Delegate: Cr Kirkham</p> <p>Officer: Chief Executive Officer or Delegate</p>	<p>Delegate: Cr Kirkham</p> <p>Officer: Chief Executive Officer or Delegate</p>	Committee of Management under the control of the Department of Environment and Primary Industries

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<p><b>Whittlesea Community House (External)</b>  <i>(formerly known as Whittlesea Township Community House &amp; Alliance Group Incorporated)</i></p> <p>This group aims to strengthen small communities in Whittlesea township and help them take charge of their future.</p> <p><i>The Councillor delegate has observer status only and is not a member of the Committee.</i></p> <p><i>Meets 2<sup>nd</sup> Tuesday of the month at 6:30pm at Neighbourhood House 92A Church St Whittlesea.</i></p>	No delegate appointed	No delegate appointed <i>(Non-voting rights)</i>	Incorporated Association governed by its Constitution
<p><b>Whittlesea YMCA (External)</b></p> <p>This organisation fosters programs and services in the local area with a key objective to assess the needs of the local community and devise programs and services that address those needs, focusing on recreation, health and wellbeing.</p> <p><i>The Board can co-opt members to the Committee and this is how the Council delegates are represented. Co-opted members have no voting rights.</i></p> <p><i>Meets 2<sup>nd</sup> Monday of the month at 6.45pm at Mill Park Leisure Centre.</i></p>	<p>Delegate: Cr Kelly <i>(Non-voting rights)</i></p> <p>Delegate: Cr Sinclair <i>(Non-voting rights)</i></p>	<p>Delegate: Cr Kelly <i>(Non-voting rights)</i></p> <p>Delegate: Cr Kirkham <i>(Non-voting rights)</i></p>	Incorporated Association governed by its Constitution



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<p><b>Whittlesea Youth Commitment Management Group (WYC) (External)</b></p> <p>The Group helps young people to develop a sense of connectedness within their communities via youth programs and events, community and social planning, information and referral services and support to the Whittlesea Youth Network.</p> <p><i>The WYC is not a decision making body and therefore no voting rights are required.</i></p> <p><i>Meets first Thursday bi-monthly at The Lakes South Morang.</i></p>	<p>Delegate: Cr Kirkham (Non-voting rights)</p> <p>No substitute appointed (Non-voting rights)</p> <p>Officer: Manager Family Children &amp; Young People</p>	<p>Delegate: Cr Sterjova (Non-voting rights)</p> <p>Substitute: Cr Kirkham</p> <p>Officer: Manager Family Children &amp; Young People</p>	<p>No Statement of Purpose formalised. Is not an incorporated body but operates under the auspices of RMIT.</p>
<p><b>Yarra Plenty Regional Library Board (External)</b></p> <p>The Board has responsibility for the provision and management of the library service and comprises two representatives from each of the three member Councils - Whittlesea, Banyule and Nillumbik.</p> <p><i>Meetings of the Board are governed by its constitution which provides for two persons from each of the three member Councils to be on the Board. One person must be a Councillor while the second appointee can be any other person. The delegates have voting rights.</i></p> <p><i>Meets February, April, June, August, October and December from 5:30pm at various locations.</i></p>	<p>Delegate: Cr Lalios (Voting rights)</p> <p>Delegate: Cr Stow (Voting rights)</p> <p>Officer: Director Community Services</p>	<p>Delegate: Cr Lalios (Voting rights)</p> <p>Delegate: Cr Desiato (Voting rights)</p> <p>Officer: Director Community Services</p>	<p>Agreement under section 196 of the Local Government Act 1989 (as amended)</p>

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<p><b><i>Visual Art and Civic History Collections Acquisitions Advisory Group (AAG) (Internal)</i></b></p> <p>The AAG was established to make recommendations to the Manager Community Cultural Development and Director Community Services regarding acquisitions and deaccessions over \$2,000 in value for the City of Whittlesea's Visual Art and Civic History Collections, as guided by the Visual Art and Civic History Collections.</p> <p><b><i>Meets twice a year with additional meetings held as required.</i></b></p>		<p><b>Delegate:</b> Cr Kirkham</p> <p><b>Officer:</b> Team Leader Arts, Heritage and</p> <p><b>Officer:</b> Events and Cultural Collection Coordinator and</p> <p><b>Officer:</b> Team Leader Information Management</p>	<p>Terms of Reference adopted by the Council on 7 June 2016.</p>